



PLANNING STAFF REPORT

MEMO DATE: December 27, 2021

MTG. DATE: JANUARY 6, 2022

TO: Village of Cottage Grove Architectural Review Committee

CC: Village of Cottage Grove Board of Trustees
Matt Giese – Village Administrator
Lisa Kalata – Village Clerk
Larry Konopacki – Village Attorney
Josh Straka – Village Engineer

FROM: [Erin Ruth, AICP – Village Planning Director](#)

RE: **Jump Around Gymnastics Revised Building Elevations**

BACKGROUND

Property Owner: Jump Around Gymnastics

Location: 202 Limestone Pass

Area: 1.4 acres

Agents: Ben O'Neill – Owner, Jump Around Gymnastics
Rhonda Hegge & Joe Gallagher - Ramaker

Existing Zoning: PI, Planned Industrial

Proposed Zoning: PI, Planned Industrial

OVERVIEW

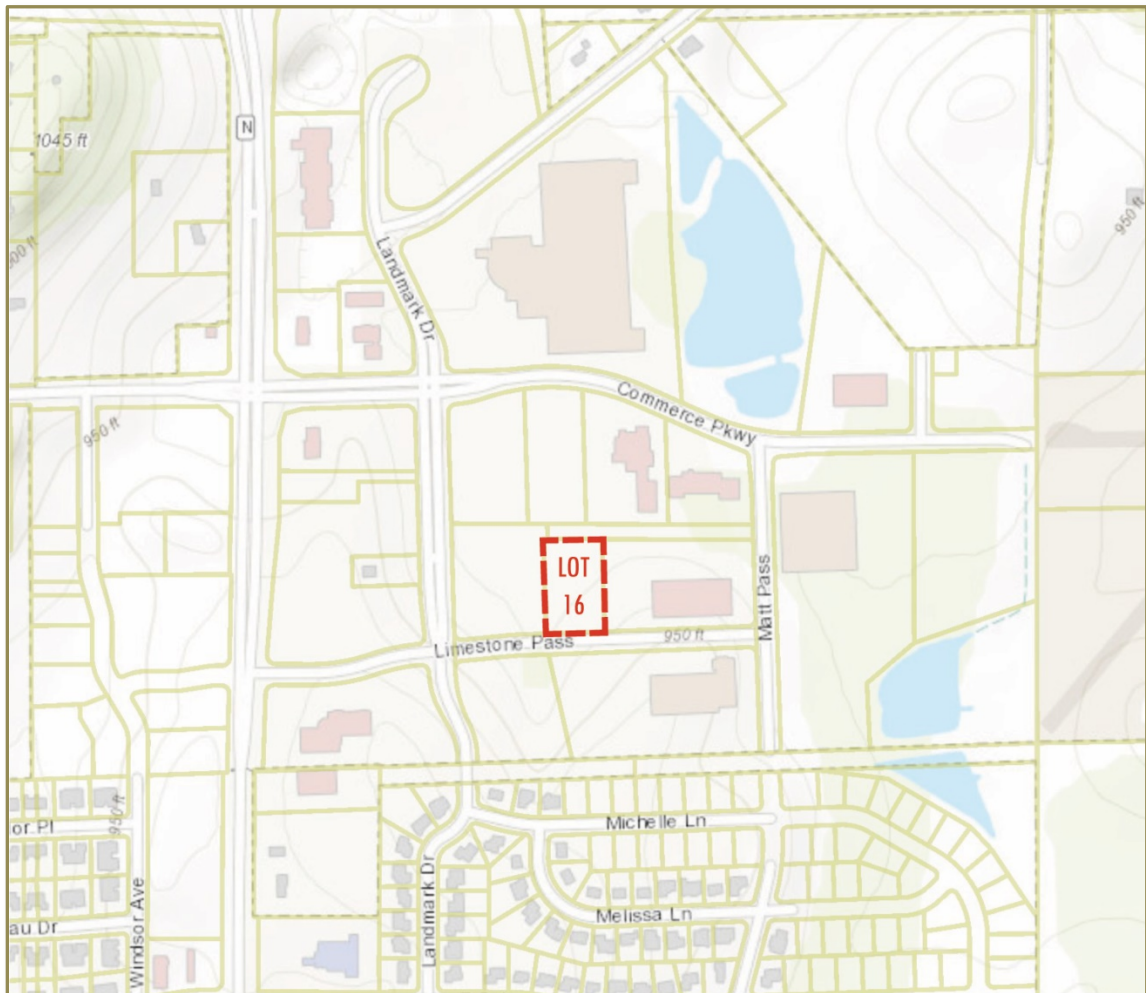
The applicant, Jump Around Gymnastics, received approval on November 1, 2021 for a site plan and conditional use permit to construct an approximately 11,000 sq. ft. gymnastics facility at 202 Limestone Pass. Jump Around offers classes and competitive team gymnastics and has opportunities for pre-school through teenaged children. This would be their second facility in addition to the original site in DeForest.

Since that approval the applicant has bid the project out to contractors and, like many recent projects, there were issues with the cost and availability of certain products. The applicant is seeking approval of a series of changes that utilize materials that are more available and/or less expensive.

Changes include the following:

- North elevation: upper band of orange panel removed; ribbon windows replaced with individual windows; metal wall panels changed to exposed fastener system.
- West elevation: upper band of orange panel removed; ribbon windows replaced with individual windows; metal wall panels changed to exposed fastener system.
- East elevation: upper and lower bands of orange panel removed; stone added; curtain wall removed and replaced with individual windows; metal wall panels changed to exposed fastener system.
- South elevation: orange wall panels replaced with blue panels; exterior vestibule removed; orange panels at entry replaced with blue; stone relocated to exterior corners; custom graphic panels added; note all wall panels on the south elevation continue to utilize hidden fastener system.

LOCATION MAP



COMPREHENSIVE PLAN CONSISTENCY

The Comprehensive Plan shows this area as Planned Industrial on the Future Land Use map. The project represents the type of development envisioned for the Commerce Park in terms of appearance and land use. While not an industrial use, the Comprehensive Plan indicates that supporting commercial uses such as this are also appropriate in this area.

While the project is generally consistent with the design guidelines in the comprehensive plan for the Planned Industrial district, one element can be interpreted as being potentially problematic. The guidelines on p. 5-31 include, “the following design elements should not be allowed in new industrial developments that are adjacent to office or other non-industrial uses, or are easily visible from main corridors: non-architectural façade materials such as untreated exterior cement block walls and metal siding with exposed fasteners.”

The applicant is proposing that utilize an exposed fastener system on the north, east, and west sides of the building. A concealed fastener system will continue to be utilized on the south (front) elevation.

The building is set back far enough so as not to be “easily visible” from the nearest “main corridor” which is Highway N. While there are non-industrial uses to the north (a daycare) and west (swim school), this area is intended to be the industrial portion of the park. It is also worth noting that five large deciduous trees are shown on the approved landscaping plan along the northern boundary of the site.

The use of the word “should” in the plan is not absolute and allows for some discretion in the application of the guidelines. In this case, the project fulfills many other goals and objectives of the economic development and land use chapters that, in the opinion of staff, outweigh the use of lower quality materials on less visible sides of the building.

COMMERCE PARK COVENANTS CONSISTENCY

Per Article IV) I) C) 1) of the covenants, the “full front façade and/or street façade shall be brick, stone, architectural concrete panels, architectural metal panels, tilt up panels, or glass.”

There is a small amount of glass and stone included in the front (south) elevation, and the blue metal panels have a stucco finish that would qualify as an architectural panel. The grey panels on the south are a concealed fastener system that has typically been considered an “architectural panel.”

As discussed above, the north, east, and west elevations are now proposed to implement an exposed fastener system that has typically not been considered an “architectural panel.” The applicant is requesting that the ARC waive the requirement on the north, east, and west sides due to the aforementioned cost and availability issues.

STAFF RECOMMENDATION

Staff recommends that the requested building elevation revisions be **APPROVED**.

The ARC could consider additional landscaping to provide heavier screening of the affected elevations.