

Village of Cottage Grove
Meeting

Notice of Public

PLAN COMMISSION

Wednesday, January 8, 2020
Hall

6:30 P.M.

Village

221 E Cottage

Grove Rd.

1. Call To Order
2. Determination Of Quorum And That The Agenda Was Properly Posted
3. Pledge Of Allegiance
4. PUBLIC APPEARANCES-Public's Opportunity To Speak About Any Subject That Is Not A Specific Agenda Item
5. Discuss And Consider The Minutes From The Plan Commission Meeting Of November 13, 2019.

Documents:

[11-13-19 PLAN COMMISSION MINUTES.PDF](#)

6. PUBLIC HEARING: Opportunity For Public To Provide Input Regarding A Request From Farris Auto To Amend An Existing Conditional Use Permit For Their Facility At 212 W. Cottage Grove Road To Permit Construction Of An Additional Paved Area Bounded By A Privacy Fence And To Review Conditions Of Operation.

Documents:

[CG_FARRISBROS_PCMEMO_2019-12-04.PDF](#)
[FARRISBROS_ALL_2019-12-04_RED.PDF](#)
[PARKING LOT FARRIS AUTO.PDF](#)

7. Discuss And Consider A Request From Farris Auto To Amend An Existing Conditional Use Permit For Their Facility At 212 W. Cottage Grove Road To Permit Construction Of An Additional Paved Area Bounded By A Privacy Fence And To Review Conditions Of The Existing Permit.
8. PUBLIC HEARING: Opportunity For Public To Provide Input Regarding A Request From Greywolf For Approval Of A General Development Plan For A Hotel, Located At Parcel #0711-041-2120-1 In The Commerce Park.

Documents:

[CG_HOTEL-GDP_2019-12-20.PDF](#)
[00094071 LANDMARK DR COMFORT SUITES HOTEL REVIEW 12-30-19.PDF](#)

[199415 GENERAL DEVELOPMENT PLAN.PDF](#)
[199415 LOCATION MAP.PDF](#)
[199415 EXISTING CONDITIONS SURVEY.PDF](#)
[199415 LAND OWNERS WITHIN 400.PDF](#)
[CSCGWI 12-18-19 SET.PDF](#)
[PUD GDP APPLICATION LETTER 12.19.19.PDF](#)

9. Discuss And Consider A Request From Greywolf For Approval Of A General Development Plan For A Hotel, Located At Parcel #0711-041-2120-1 In The Commerce Park.
10. PUBLIC HEARING: Opportunity For Public To Provide Input Regarding A Request From Doundrins Distilling For Conditional Use Permit For An Outdoor Seating Area At Their Facility Located At 300 Progress Drive.

Documents:

[CG_DOUNDRINSDISTILL-CUP_2019-12-20.PDF](#)
[APPFORM_CUP_DOUNDRINS_2019-12-18-SIGNED.PDF](#)
[LAYOUT WITH BATHROOMS2-MODEL.PDF](#)
[OUTDOOR DESCRIPTION.PDF](#)
[OWNER APPROVAL_EMAIL.PDF](#)
[WRITTEN JUSTIFICATION.PDF](#)

11. Discuss And Consider A Request From Doundrins Distilling For Conditional Use Permit For An Outdoor Seating Area At Their Facility Located At 300 Progress Drive.
12. Discuss And Consider A Request From The Monona Grove School District For A Site Plan Amendment For An Approximately 1,500 Sq. Ft. Addition To The Glacial Drumlin Middle School Cafeteria, Located At 801 Damascus Trail.

Documents:

[CG_MGSD-GDCAFE-SITEAMEND_2019-12-17.PDF](#)
[2019_1206 PLAN COMMISSION SUBMITTAL_GLACIAL DRUMLIN.PDF](#)

13. Discuss And Consider A Request From Village Of Cottage Grove Park & Rec Dept. For Approval Of A Site Plan Amendment For Bakken Park To Permit Installation Of A New Shelter And Splash Pad.

Documents:

[CG_BAKKENPK_2019-12-02.PDF](#)
[PART1-00094041_BAKKEN PARK SITE PLAN AMENDEMENT APP.PDF](#)
[PART2-00094041_BAKKEN PARK SITE PLAN AMENDEMENT APP-2.PDF](#)
[PART3-00094041_BAKKEN PARK SITE PLAN AMENDEMENT APP-3.PDF](#)

14. PUBLIC HEARING: Opportunity For Public To Provide Input Regarding A Proposed Amendment Of The Village Of Cottage Grove Zoning Ordinance To Create A New Single-Family Residential Zoning District With Minimum Lot Size Of 7,500 Sq. Ft.

Documents:

[CG_RESZON_2019-12-02.PDF](#)

15. Discuss And Consider A Proposed Amendment Of The Village Of Cottage Grove Zoning Ordinance To Create A New Single-Family Residential Zoning District With Minimum Lot Size Of 7,500 Sq. Ft.

16. Future Agenda Items

17. Adjournment

This agenda has been prepared by Staff and approved by the Village President as Chair of the Plan Commission for use at the meeting as listed above. Any item on the agenda is subject to final action. Notice: Persons needing special accommodations should call 608-839-4704 at least 24 hours prior to the meeting. It is possible that members of and possibly a quorum of members of other governmental bodies may be in attendance at the above stated meeting to gather information; no action will be taken by any governmental body at the above-stated meeting other than the governmental body specifically referred to above in this notice.

VILLAGE OF COTTAGE GROVE
PLAN COMMISSION
Wednesday, November 13, 2019

MINUTES

1. Call to order

The Plan Commission meeting for November 13, 2019 was called to order by Village President John Williams at 6:31 p.m.

2. Determination of quorum and that the agenda was properly posted.

It was noted that a quorum was present and that the agenda was properly posted. Roll Call was taken. Commission members present were: John Williams, Don Brinkmeier, Kyle Broom, Melissa Ratcliff, Fred Schulze. Absent and excused was Alex Jushchyshyn and Jennifer Pickel Staff members present were Village Planner Erin Ruth, Village Administrator Matt Giese and Village Clerk Lisa Kalata.

3. Pledge of Allegiance

4. PUBLIC APPEARANCES – *Public's opportunity to speak about any subject that is not a specific agenda item.*

None

5. Discuss and consider the minutes from the Plan Commission meeting of October 1, 2019 and the Joint Plan Commission /Village Board Meeting on October 21, 2019.

Motion by Ratcliff to approve the minutes from the October 1, 2019 Plan Commission meeting and the Joint Plan Commission/Village Board meeting on October 21, 2019, seconded by Broom. **Motion** carried with a voice vote of 5-0-0.

6. PUBLIC HEARING: Opportunity for Public to Provide Input Regarding A Request from John DeWitt To Rezone Lot 2 Of CSM 13103 (Located North Of CVS) From PB, Planned Business To NB, Neighborhood Business; And To Rezone Lot 48 Of Coyle Highlands South (Located On SW Corner Of W. Cottage Grove Rd. And Limerick Dr.) From NO, Neighborhood Office To NB, Neighborhood Business.

Williams opened the public hearing at 6:33pm. John DeWitt was present ask for the rezone as the lots have been vacant for many years, but with the rezone it would give a broader use and then could have multi-family as a conditional use and would still allow for office use or commercial. Ruth indicated that John DeWitt had come in with a concept for both lots and with the rezone the projects would be allowed with conditional use. Brinkmeier indicated that he liked the concept plans but would not like to see a building like Artisan Square. Kyle Wojta-314 Erin Ct had concerns with the zoning changes with multi-family use and the potential of the Farm Golf Course having multi-family, his property would be between both multi-family areas. Virgil Kasgs-700 Cork Xing-was present to address concerns with apartments and it being low income. Nick Pedracine-702 Cork Xing-to voice concerns with Movin Out and the parking on the streets and is frustrated with the whole process of rezoning, which Williams indicated that this was not that this item and is not related to his concern. Williams closed the public hearing at 6:47 pm.

7. Discuss and Consider A Request from John DeWitt to Rezone Lot 2 Of CSM 13103 (Located North Of CVS) From PB, Planned Business To NB, Neighborhood Business.

Motion by Broom to approve the request to rezone Lot 2 of CSM 13103 located north of CVS from PB, Planned Business to NB, Neighborhood Business, seconded by Brinkmeier. **Motion** carried with a voice vote of 5-0-0.

8. Discuss and Consider A Request from John DeWitt to Rezone Lot 48 Of Coyle Highlands South (Located on SW Corner of W. Cottage Grove Rd. And Limerick Dr.) From NO, Neighborhood Office To NB, Neighborhood Business.

Motion by Broom to approve the request to rezone Lot 48 of Coyle Highlands South located on SW corner of W. Cottage Grove Rd and Limerick Dr from NO, Neighborhood Office to NB Neighborhood Business, seconded by Brinkmeier. **Motion** carried with a voice vote of 4-1-0 with Schulze voting No.

9. Update on Status of Conditional Use Permit for Farris Brothers Auto, Located At 212 W. Cottage Grove Road.

Ruth reported that the Farris brothers have been talking with companies for paving and fencing, however the weather is not cooperating. Ruth will continue to work with them to have the application for the December meeting.

10. Discuss Creation of Additional Single-Family Residential Zoning District.

Ruth indicated that smaller lots sizes had been talked about during the comprehensive plan and was looking for feedback as to whether this was something the commission would like to pursue. Ruth presented neighborhoods that have smaller lot sizes so the commission could see what a neighborhood would look like. Brinkmeier indicated that he would want vehicles to be able to park in drive ways and not be on the sidewalks. Williams indicated that it would give more flexibility. Ruth indicated that he would draft the language and bring back to the next meeting.

11. Future Agenda Items

Parks and Rec site plan, Ferris Auto, hotel submittal

12. Adjournment

Motion by Schulze to adjourn at 7:06 pm, seconded by Ratcliff. **Motion** carried with a voice vote of 5-0-0.

Lisa Kalata, Clerk
Village of Cottage Grove
Approved:

These minutes represent the general subject matter discussed in this meeting but do not reflect a verbatim documentation of the subjects and conversations that took place.



PLANNING STAFF REPORT

MEMO DATE: December 4, 2019

MTG. DATE: **DECEMBER 11, 2019**

TO: Village of Cottage Grove Plan Commission

CC: Village of Cottage Grove Board of Trustees
Matt Giese – Village Administrator
Lisa Kalata – Village Clerk
Lee Boushea – Village Attorney
Michael Maloney – Village Engineer

FROM: [Erin Ruth, AICP – Village Planning Director](#)

RE: **Farris Auto – Conditional Use Permit Amendment**

BACKGROUND

Property Owner: Farris Auto

Location: 212 W. Cottage Grove Road

Area: 1.4 acres

Agent: Jon and Gerard Farris

Existing Zoning: PB, Planned Business

Proposed Zoning: PB, Planned Business

OVERVIEW

In April 2015, Farris Auto received a conditional use permit to operate a vehicle repair and sales business at 212 W. Cottage Grove Road subject to several conditions (see attached Village Action Report).

Since then, the owners Jon and Gerard Farris purchased the 0.75 acre parcel occupied by the garage (they had been leasing it from UW Credit Union), as well as the adjacent 0.65 acre parcel that had been leased by a lawn mower repair business.

Over the past few months the Village has received complaints regarding the number and condition of cars on the lot.



The conditional use permit limits the number of cars on sale on the property to five. The permit also states that “inoperable or salvage vehicles shall not be stored on site, except inoperable vehicles awaiting repair in the short term.”

At the time the permit was granted the business was expected to be primarily a customer-based repair shop where cars would pass through in a few days at most, with sales expected to be a minor aspect of the business. Since then, the business has begun purchasing cars to repair and resell. While those cars are also “awaiting repair” they do not move through the site as quickly and the site can get cluttered with cars.

Now that Farris Auto owns the site, this may be an opportune time to address the complaints with a plan for a more permanent solution that could allow the business to operate successfully while also fitting in with the neighborhood.

Jon and Gerard Farris have met with the Plan Commission to discuss potential options for the site, including a site plan prepared by Village Staff. They have since been working with paving and fencing contractors regarding the project. They are prepared to begin working to improve the site as soon as the weather allows in 2020.

CURRENT CONCEPT PLANS

The current concept is attached. The applicants are planning to improve the site in three phases in a manner that will allow them to continue operations through each phase.

Phase one includes a roughly 60' x 200' parking lot south of the existing buildings. The lot will be enclosed by a wood (or vinyl simulated wood) privacy fence between 6' and 8' tall. The entry to the parking area should be from between the buildings on the north side of the lot as businesses are prohibited from access from a local residential street. Visible sides would include a mulched and landscaped band around the exterior of the fence. The applicants plan to implement this work as soon as paving can resume in the spring.

In phase two the applicants plan to remove two existing sheds on the west side of the site (formerly used by Cottage Grove Mower Repair). The structures would be replaced by a small, new sales office building. Also, in phase two the final segment of the privacy fence will be built between the new sales office and the existing repair shop. The applicants hope to perform this phase over the summer of 2020.

Phase three includes the repair/replacement of the existing paved area on the north side of the site along with landscaping improvements and new signage.

STAFF RECOMMENDATION

Staff recommends the amended Conditional Use Permit be **APPROVED WITH CONDITIONS**, with the conditions as follows:



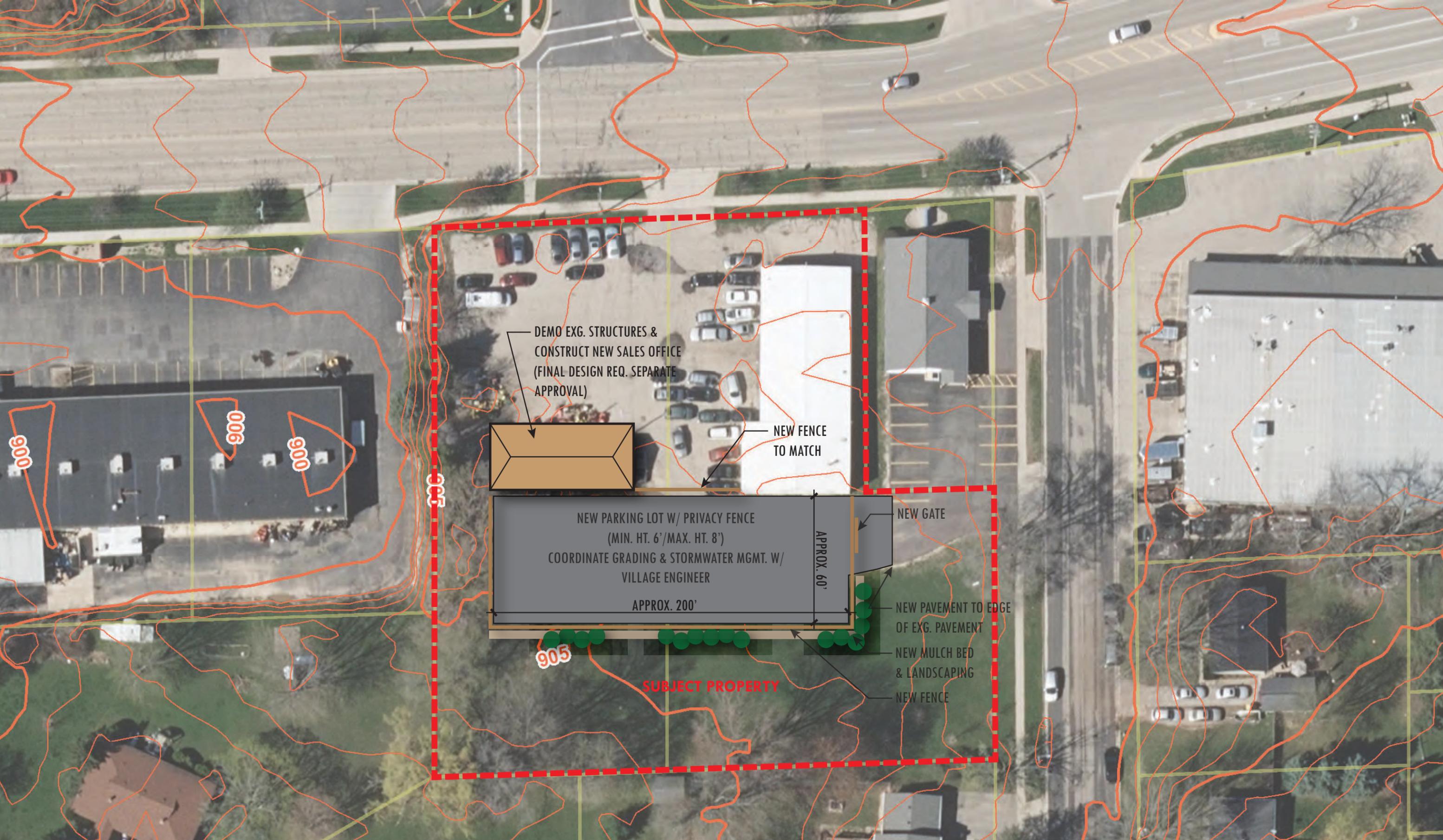
1. Signage related to auto sales shall be restricted to signage within the windows of the vehicles for sale on the property.
2. Inoperable or salvage/junk vehicles shall not be stored on-site, except temporarily inoperable vehicles awaiting repair and stored within the fenced area.
3. No unpaved areas shall be used for vehicle parking, storage, or circulation.
4. Signage will require a permit via a separate application process.
5. The Conditional Use Permit shall apply only to Farris Auto at this location.
6. Phase 1 shall include the elements shown in the attached Phase 1 plan including paving, fencing, and landscaping. Coordinate erosion control, stormwater management, and grading with the Village Engineer prior to issuance of a land disturbance permit.
7. Prior to initiating Phase 2, detailed building design drawings shall be provided for Plan Commission and Village Board approval.
8. Contact Village prior to initiation of Phase 3 to discuss scope of work and to determine necessary submittal and approval process, or Phase 3 review may be combined with Phase 2.
9. All cars for sale shall be limited to spaces along the north edge of the property, west of the driveway or shall be within the fenced area.
10. Generally, cars awaiting repair shall be stored within the fenced area. Up to five cars awaiting repair in the short term may be located outside the fence for the convenience of repair operations.



FARRIS AUTO CONCEPT PLAN - PHASE 1 (EARLY SPRING 2020)

Plan Commission Meeting - December 11, 2019





DEMO EXG. STRUCTURES &
CONSTRUCT NEW SALES OFFICE
(FINAL DESIGN REQ. SEPARATE
APPROVAL)

NEW FENCE
TO MATCH

NEW PARKING LOT W/ PRIVACY FENCE
(MIN. HT. 6'/MAX. HT. 8')
COORDINATE GRADING & STORMWATER MGMT. W/
VILLAGE ENGINEER
APPROX. 200'

NEW GATE

NEW PAVEMENT TO EDGE
OF EXG. PAVEMENT

NEW MULCH BED
& LANDSCAPING

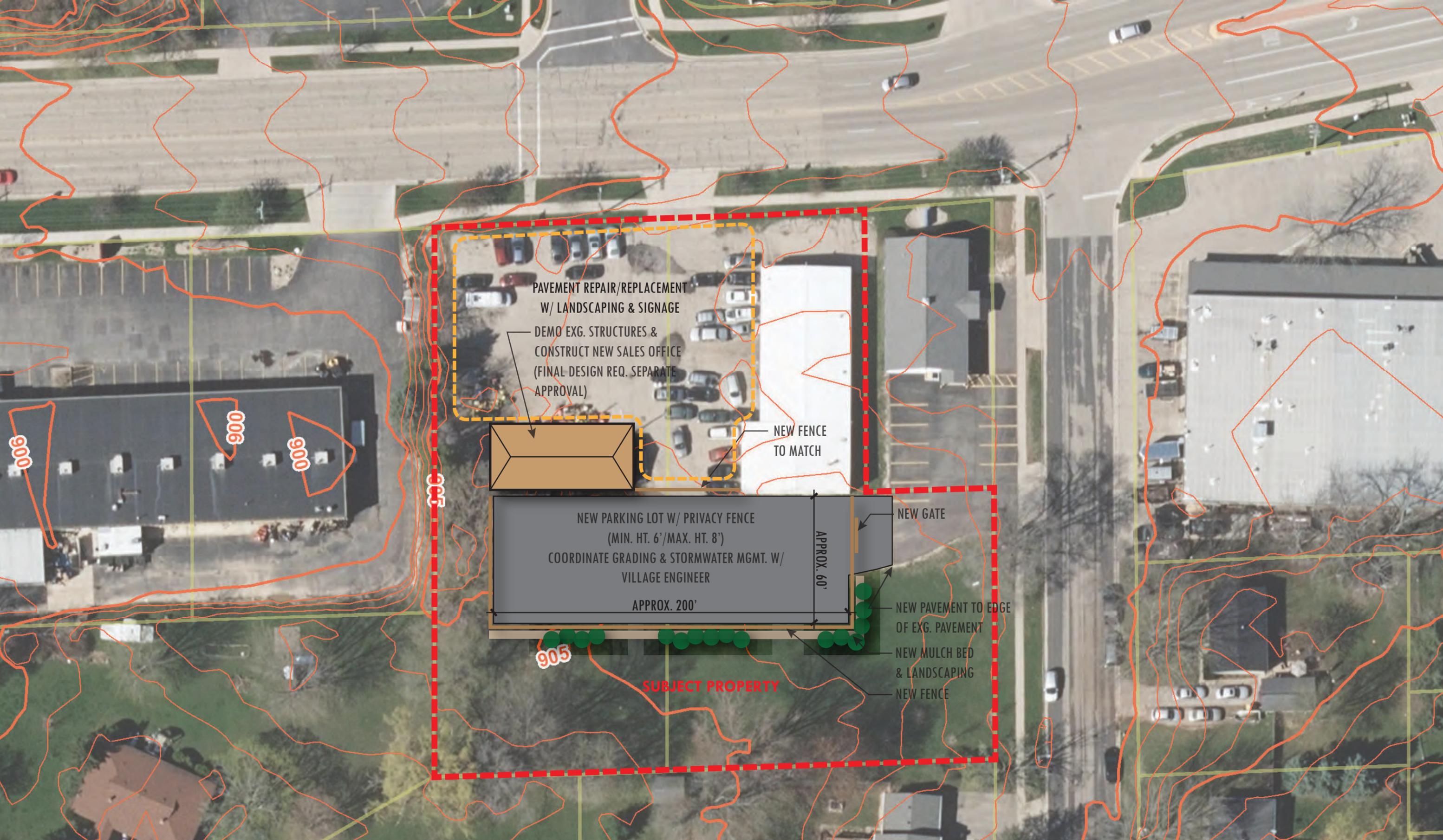
NEW FENCE

SUBJECT PROPERTY



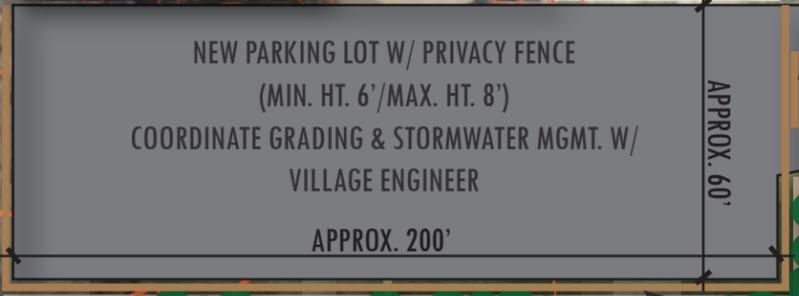
FARRIS AUTO CONCEPT PLAN - PHASE 2 (EST. SUMMER 2020)

Plan Commission Meeting - December 11, 2019



PAVEMENT REPAIR/REPLACEMENT
W/ LANDSCAPING & SIGNAGE
DEMO EXG. STRUCTURES &
CONSTRUCT NEW SALES OFFICE
(FINAL DESIGN REQ. SEPARATE
APPROVAL)

NEW FENCE
TO MATCH



NEW GATE

NEW PAVEMENT TO EDGE
OF EXG. PAVEMENT

NEW MULCH BED
& LANDSCAPING

NEW FENCE

SUBJECT PROPERTY



FARRIS AUTO CONCEPT PLAN - PHASE 3 (AFTER NEW SALES OFFICE)

Plan Commission Meeting - December 11, 2019

Site Plan/ Conditional Use Farris Auto

Create parking lot in the south of our property. This will either be blacktop or concrete with dimensions of 50ft x 192ft. Paved area will be hidden by privacy fence along with shrubs surrounding privacy fence.

This space is needed for our business to store vehicles that are customer projects, trade-ins, and other vehicles that will not be ready for sale immediately. This will free up our current parking lot for our retail vehicles and daily customer vehicles.

This land is currently used as green space behind our buildings. We currently have 15-25 customers daily and could use the extra operating space.

We will start the project in spring with paving the area first, then installing the privacy fence and finishing with landscaping/shrubs. Start to end should be 3-4 weeks. We are currently working with companies for estimates on the privacy fence and paving.



PLANNING STAFF REPORT

MEMO DATE: December 20, 2019

MTG. DATE: **JANUARY 8, 2020**

TO: Village of Cottage Grove Plan Commission

CC: Village of Cottage Grove Board of Trustees
Matt Giese – Village Administrator
Lisa Kalata – Village Clerk
Lee Boushea – Village Attorney
Kevin Lord – Village Engineer

FROM: [Erin Ruth, AICP – Village Planning Director](#)

RE: **Comfort Suites Hotel – General Development Plan**

BACKGROUND

Property Owner: Badger Hotel Group/Greywolf Partners

Location: Parcel #0711-041-2120-1 on Landmark Dr.

Area: approx. 57,000 sq. ft.

Agent: Todd Rizzo – Greywolf Partners

Existing Zoning: Planned Office

Proposed Zoning: Planned Unit Development

Future Land Use Plan: Planned Business

OVERVIEW

The applicant is seeking approval of a Planned Unit Development for a five-story, 82 room hotel totaling approximately 57,000 sq. ft. The hotel will be branded as a Comfort Suites, which is a CHOICE Hotels brand. Amenities in the building will include an indoor pool, fitness room, meeting room, breakfast area, and an outdoor space.



The scale of the project does not comply with the current PO, Planned Office zoning. Therefore, the applicant is seeking approval as a Planned Unit Development (PUD) to allow several exceptions to the base zoning.

A PUD has a two-step approval process. At the January meeting, the Plan Commission will review the first step, the General Development Plan (GDP).

LOCATION MAP



COMPREHENSIVE PLAN CONSISTENCY

Per the Planned Business description in the Land Use Chapter, “the northern and western edges of the (Commerce) Park, with their visual exposure to I-94 and CTH N, are improved for Planned Business development which may consist of retail, high quality office, and supporting land uses such as quality restaurants, lodging facilities, and financial institutions.”



In addition, several Planned Business policies are relevant to this project. Policy #1 states that “the Planned Business uses around the interchange of I-94 and CTH N will serve as a “gateway” into the Village from other locations inside and outside of the region and reflect the image of the Village to passers-by. Due to the location, particular attention should be given to ensuring that development is of a high aesthetic quality.”

Policy #7 states “encourage Planned Business development that occurs along major transportation corridors (e.g. Interstate 94 and CTH N, CTH BB) to contribute toward establishing and enhancing a positive image for the Village. The developments that are built along these corridors and surrounding interchange areas are highly visible to residents and visitors, and can help establish an attractive image for the Village.”

The proposed project complies with the design guidelines in polices #9 and #10 for the Planned Business district.

The Economic Development chapter of the Comprehensive Plan includes a survey of local business owners. Approximately 80% of respondents felt that a hotel and a meeting/event space would provide a major or minor improvement to the Cottage Grove business community. No respondents felt such facilities would detract from the business community.

The chapter also includes a resident survey. In that survey, approximately 70% of respondents were at least mildly interested in adding a hotel to the Village, which was one of the highest scores among the businesses listed.

The Economic Development chapter also includes a matrix indicating the desirability of various industry types in different areas within the Village. The matrix indicates that accommodations and food service are appropriate and desirable within the Commerce Park.

In the opinion of staff, the proposed project is consistent with the Village’s Comprehensive Plan.

ZONING ORDINANCE CONSISTENCY

The subject property is currently zoned Planned Office. The applicant is requesting that the property be rezoned to a Planned Unit Development to accommodate features of the project that do not fit within the base zoning category.

Requested exceptions

The requested exceptions are as follows:

- The proposed building is 5 stories, while the PO zoning allows a maximum of 4.
- The proposed building is approximately 64 feet tall, while the PO zoning allows a maximum of 45 feet.
- The proposed landscape ratio for the property is 14.4%, while the minimum in the PO district is 25%.



- The floor area ratio of the proposed project is 1.0, while the maximum allowed in the PO district is 0.3.
- The proposed project has a 0-foot side setback on the north side of the property, while the minimum side setback in the PO district is 10 feet.
- The proposed project has a 0-foot street paved surface setback, while the minimum street paved surface setback in the PO district is 10 feet.

Parking

325-49(H)(11)(b) requires one parking space per room plus one space for each employee on the largest shift.

Therefore the 98 available parking spaces can accommodate the 82 rooms and up to 16 employees without making use of the spaces at the adjacent Greywolf building to the north.

STAFF RECOMMENDATIONS

Staff recommends that the General Development Plan be **APPROVED WITH CONDITIONS**, with the conditions as follows:

1. The sidewalk on Landmark Drive should be a minimum 6' width to maintain adequate clear space around the overhang of parked cars or implement wheel stops to prevent overhang.
2. Provide exterior material samples at meetings for review of the Precise Implementation Plan.

ENGINEERING REVIEWER:

Kevin Lord, P.E.
Phone: (608) 242-7779
klord@msa-ps.com

DATE:

December 30, 2019



Proposed Comfort Suites Hotel: Greywolf

REVIEW COMMENTS

MSA has reviewed the Concept Plans submitted December 20, 2019 for the proposed Comfort Suites Hotel along Landmark Drive.

INCLUDED

1. General Development Plan
2. Various building elevations

MSA will review the drainage and site civil for the project following the submittal.

General Development Plan

1. The sidewalk adjoining parking lots where curb and gutter is not shown should be raised sidewalk.
2. Tree locations should be revised based on the location of the sanitary sewer line and cleanouts shown on the existing survey.
3. Verify that one-half the area of the trash enclosure is sufficient for the site in the case the properties become independently owned in the future.
4. The north side of the hotel should be reviewed. Concrete patio is planned and fenced on the property on the north side of the building which is on land owned by the other property and will limit the use of that land by the northerly property owner. A property line adjustment or permanent easement should be attained for the patio use to avoid concerns if properties are sold in the future.
5. The concrete patio's are overtop existing storm sewer and a sanitary clean out. Access structures and drains will need to be maintained. Existing brick columns for the Pergola Overhang exist within the proposed concrete patio area.



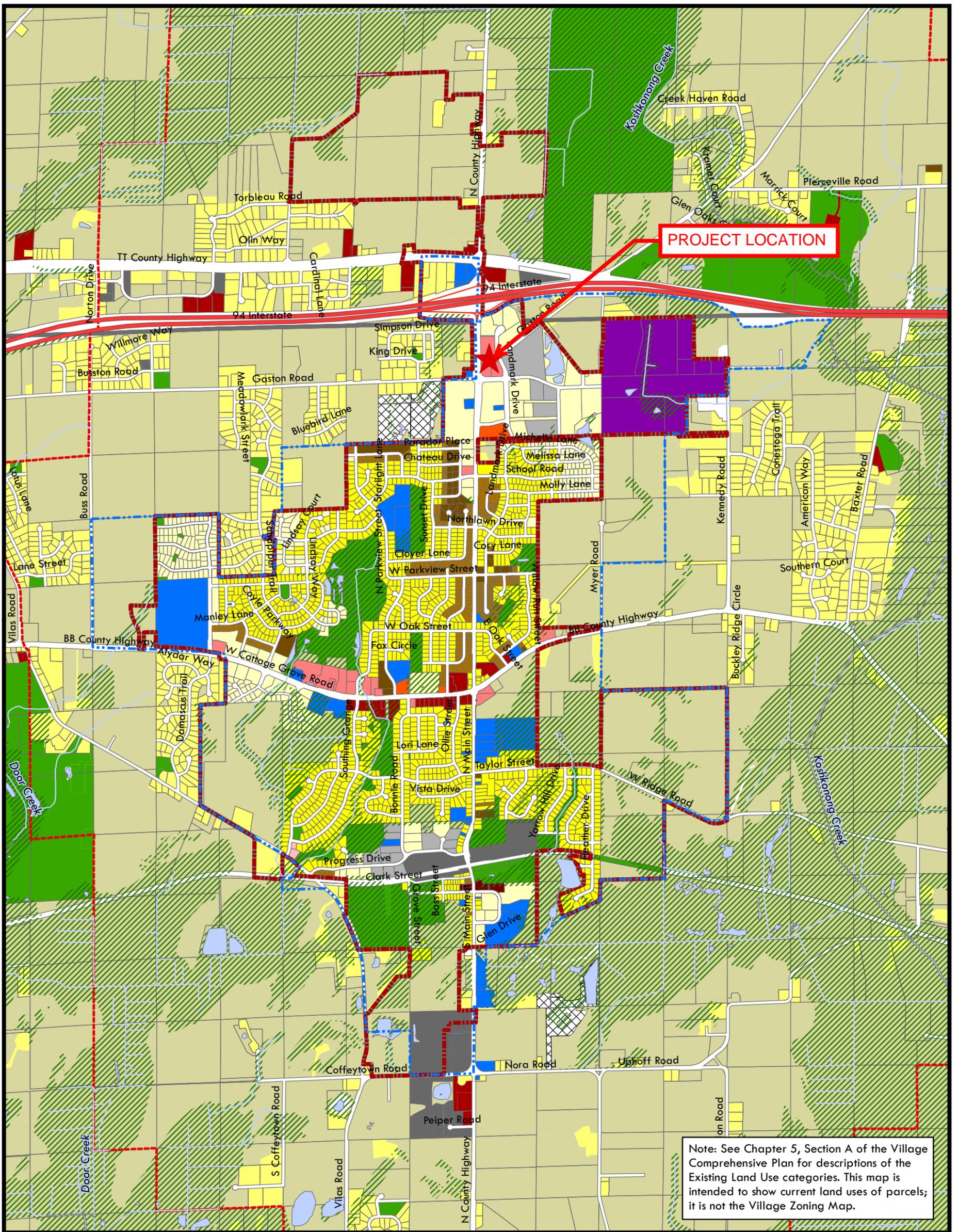
N

PROPOSED HOTEL BUILDING

PROPOSED SURFACE PARKING

LANDMARK DR.





Note: See Chapter 5, Section A of the Village Comprehensive Plan for descriptions of the Existing Land Use categories. This map is intended to show current land uses of parcels; it is not the Village Zoning Map.

EXISTING LAND USE

MAP 4

VILLAGE OF COTTAGE GROVE COMPREHENSIVE PLAN Amended July 21, 2014

0 0.125 0.25 0.5 Mile



Source: Village of Cottage Grove, Dane County LIO



- Village of Cottage Grove
- Town Boundary
- Urban Service Area
- ETJ Boundary
- Parcel Boundary
- Surface Water
- Railroad

LAND USE CATEGORIES

- | | |
|----------------------------|------------------------|
| Agriculture/Rural | Planned Office |
| Single Fam. Res., Unsewer. | Community Facility |
| Single Fam. Res., Sewered | Airport |
| Two Family Res. | Planned Industrial |
| Multi-Family Res. | General Industrial |
| Neighborhood Business | Mineral Extraction |
| Planned Business | Park & Open Space |
| General Business | Vacant |
| Central Mixed Use | Environmental Corridor |

EXISTING CONDITIONS SURVEY

LOT 1 OF CERTIFIED SURVEY MAP NO. 12520, BEING PART OF THE NORTHWEST QUARTER OF SECTION 04, TOWNSHIP 07 NORTH, RANGE 11 EAST, VILLAGE OF COTTAGE GROVE, DANE COUNTY, WISCONSIN.

TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND UTILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
1-800-242-8511 TOLL FREE

WISCONSIN STATE REGISTERED ENGINEERS NUMBER THREE (3) WORK DAYS NOTICE BEFORE YOU DIG IN WISCONSIN

*THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THE CONTRACTOR'S OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
KENOSHA | APPLETON | WAUSAU

MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
P. 608.848.5060

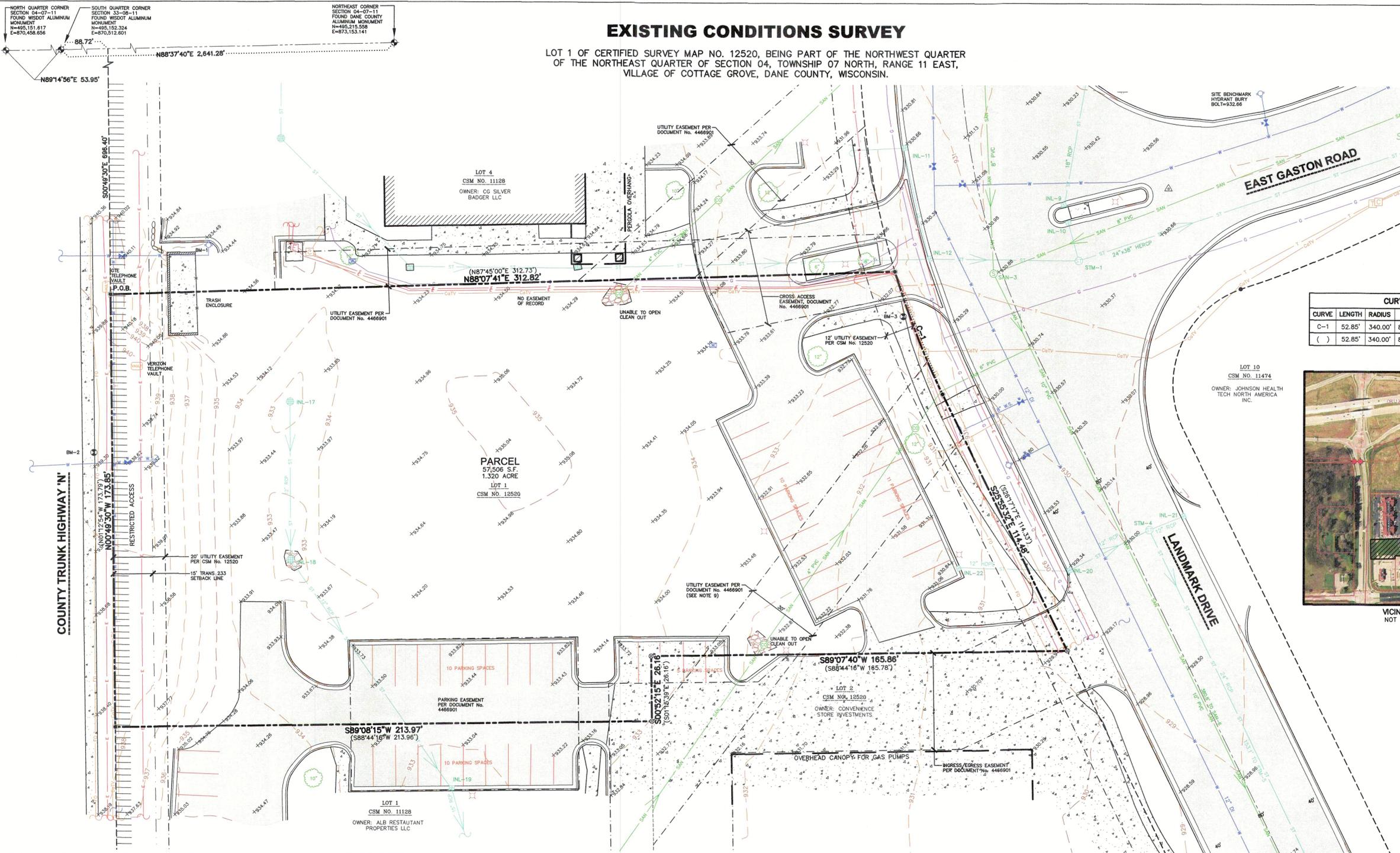
CLIENT:
GREYWOLF PARTNERS

CLIENT ADDRESS:
**115 SOUTH 84TH ST., SUITE 275
MILWAUKEE, WI 53214**

PROJECT:
LOT 1, C.S.M. No. 12520

PROJECT LOCATION:
**VILLAGE OF COTTAGE GROVE
DANE COUNTY, WISCONSIN**

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C-1	52.85'	340.00'	8°54'25"	52.80'	S21°18'46"E
()	52.85'	340.00'	8°54'20"	52.79'	S21°50'07"E



STORM SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
STM-1	930.36	N 926.31	18"	RCP	
		W 926.34	18"	RCP	
		NE 926.28	24"x36"	HERCP	
		SW **	**	12"	RCP
STM-4	929.69	NE **	**	12"	RCP
		SE 923.85	24"	RCP	
		NE 923.12	24"	RCP	
		SW 923.15	12"	RCP	
		NE 923.06	12"	RCP	
		SE 923.00	24"	RCP	

SANITARY SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-3	930.81	N 917.04	8"	PVC	
		NE 917.04	8"	PVC	
		SE 916.91	10"	PVC	
		NW 915.75	10"	PVC	
		S 915.65	10"	PVC	
SAN-6	927.75	NW 915.75	10"	PVC	
		S 915.65	10"	PVC	

STORM SEWER INLETS					
INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL-11	930.42	W 926.88	18"	RCP	
		S 926.86	18"	RCP	
		N 926.72	18"	RCP	
		W 926.77	18"	RCP	
		E 926.71	18"	RCP	
		S 928.44	12"	RCP	
		N 928.08	12"	RCP	
		SE 928.08	12"	RCP	
		SW 927.69	12"	RCP	
		S 927.69	12"	RCP	
		NW 927.06	12"	HDPE	
		NE 926.84	12"	RCP	
		SW 926.94	12"	RCP	
		SE 926.94	12"	HDPE	

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	937.12	BURY BOLT ON HYDRANT, NORTHWEST CORNER OF SITE
BM-2	939.34	CUT CROSS IN SIDEWALK, WEST SIDE OF SITE
BM-3	937.18	CUT CROSS IN SIDEWALK, EAST SIDE OF SITE
BM-4	932.66	BURY BOLT ON HYDRANT, NE QUADRANT OF LANDMARK AND E. GASTON

*JSD DOES NOT GUARANTEE THAT THE BENCHMARK ELEVATIONS LISTED ON THIS MAP HAVE NOT BEEN DISTURBED SINCE THE DATE OF THIS SURVEY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

- LEGEND**
- GOVERNMENT CORNER
 - 1" IRON PIPE FOUND
 - 3/4" REBAR FOUND
 - CHISELED 'X' SET
 - SANITARY MANHOLE
 - CLEAN OUT
 - HYDRANT
 - WATER VALVE
 - SPRINKLER VALVE BOX
 - STORM MANHOLE
 - ROUND CASTED INLET
 - CURB INLET
 - ELECTRIC TRANSFORMER
 - LIGHT POLE
 - VAULT
 - TELEPHONE PEDESTAL
 - CABLE PEDESTAL
 - DECIDUOUS TREE
 - PARCEL BOUNDARY
 - RIGHT-OF-WAY LINE
 - CHORD LINE
 - CENTERLINE
 - SETBACK LINE
 - SECTION LINE
 - PLATTED LOT LINE
 - EASEMENT LINE
 - FENCE LINE
 - STONE WALL
 - EDGE OF PAVEMENT
 - CONCRETE CURB & GUTTER
 - SANITARY SEWER
 - WATER LINE
 - STORM SEWER
 - NATURAL GAS
 - UNDERGROUND ELECTRIC
 - FIBER OPTIC
 - UNDERGROUND TELEPHONE
 - UNDERGROUND CABLE
 - BUILDING
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - SPOT ELEVATION
 - BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT
 - PAVEMENT STRIPING
 - END OF FLAGGED UTILITIES
 - DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY
 - RESTRICTED ACCESS

- NOTES**
- FIELD WORK PERFORMED ON NOVEMBER 25, 2019.
 - BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY. THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 04-07-11, RECORDED AS N883740'E.
 - ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS A WISDOT ALUMINUM MONUMENT MARKING THE NORTH QUARTER CORNER OF SECTION 04, T07N, R11E, ELEVATION = 944.61'
 - CONTOUR INTERVAL IS ONE FOOT.
 - SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOTLINE TICKET NO. 20194707392, WITH A START DATE OF NOVEMBER 25, 2019.
 - UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
VILLAGE OF COTTAGE GROVE: ALLIANT ENERGY (ELECTRIC AND GAS)
CHARTER COMMUNICATIONS: FRONTIER COMMUNICATIONS
WIN, LLC: CITY OF MADISON ENGINEERING
TDS METROCOM: WE ENERGIES
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
 - PROPOSED UTILITIES (GAS, ELECTRIC AND TELEPHONE) AS SHOWN ON EXHIBIT G-2 IN DOCUMENT NO. 4466901 WERE NOT FIELD MARKED BY DIGGERS HOTLINE, BUT MAY EXIST AND ARE LIKELY PRIVATE SERVICE LINES.

LEGAL DESCRIPTION

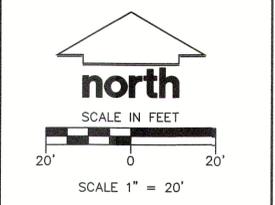
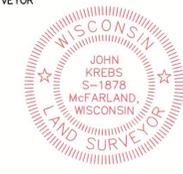
LOT 1, CERTIFIED SURVEY MAP NO. 12520, RECORDED IN VOLUME 78 OF DANE COUNTY CERTIFIED SURVEY MAPS ON PAGES 186-187 AS DOCUMENT NUMBER 4460942, VILLAGE OF COTTAGE GROVE, DANE COUNTY, WISCONSIN.

TAX KEY NO: 112/0711-041-2120-1

SURVEYOR'S CERTIFICATE

I, JOHN KREBS, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-1878, HEREBY CERTIFY THAT UNDER THE DIRECTION OF GREYWOLF PARTNERS THIS SURVEY AND MAP HAS BEEN PREPARED AND COMPLIES WITH WISCONSIN ADMINISTRATIVE CODE A-E7 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

John Krebs 12/10/19
JOHN KREBS, S-1878
PROFESSIONAL LAND SURVEYOR DATE

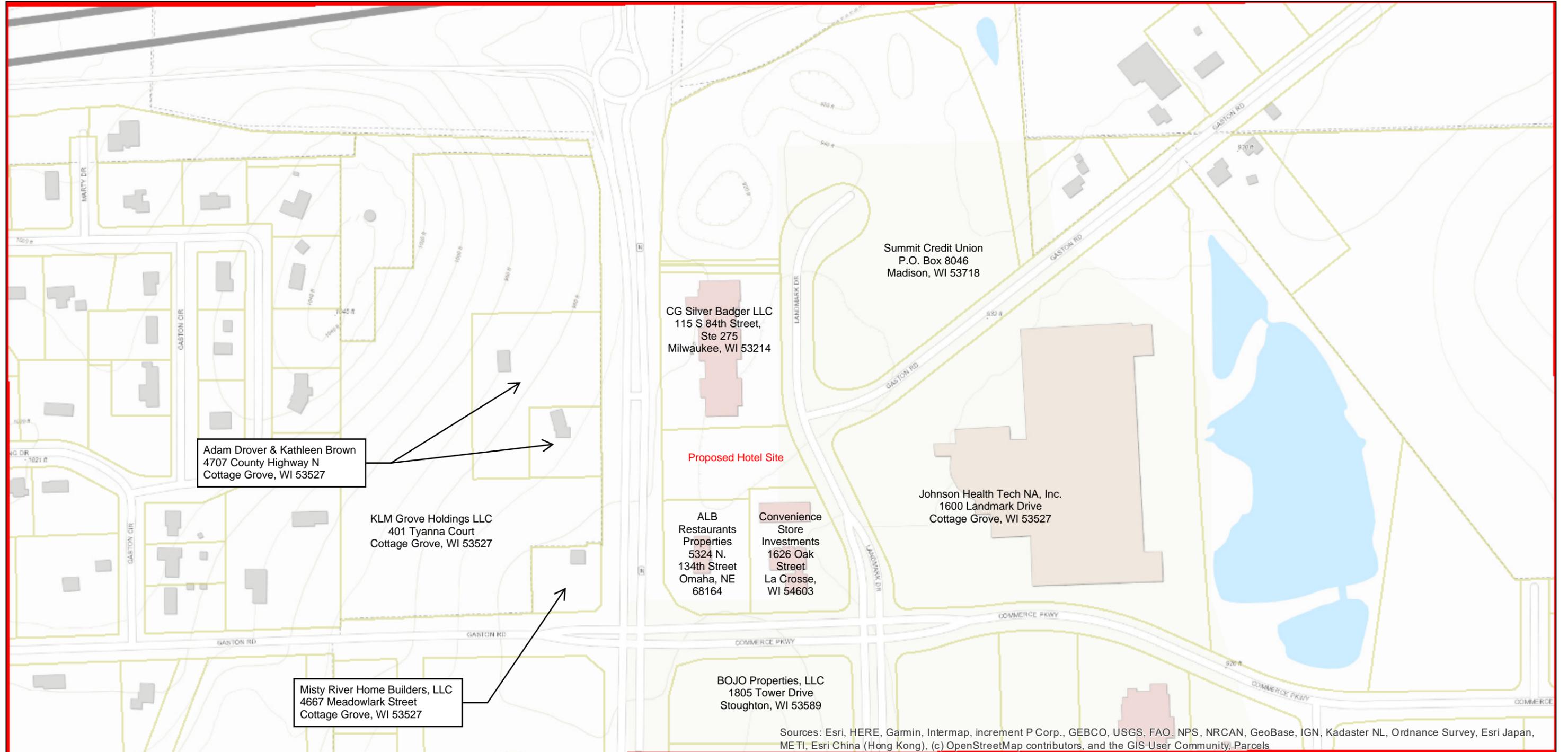


Design/Drawn: JK 11/26/19
Approved: TJB 11/26/19

SHEET TITLE:
EXISTING CONDITIONS SURVEY

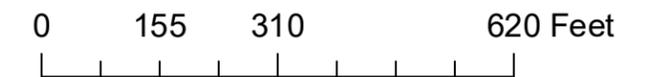
SHEET NUMBER:
1 OF 1

Cottage Grove Comfort Suites Adjacent Property Owners



December 18, 2019

Parcels





Comfort
SUITES












**Comfort
SUITES**





**Comfort
SUITES**

**Comfort
SUITES**







December 19, 2019

Mr. Erin Ruth
Director of Planning and Development
Village of Cottage Grove
221 East Cottage Grove Road
Cottage Grove, WI 53527

Re: PUD – Application and General Development Plan
Badger Hotel Group, LLC
Parcel ID No.: 112/0711-041-2120-1
Commerce Business Park
Cottage Grove, Wisconsin

Dear Mr. Ruth,

Please accept the following as an application for rezoning Parcel ID No. 112/0711-041-2120-1, which is currently zoned PO (Planned Office) to a Planned Unit Development (PUD). Per discussions with the Village over the past year and our market research, the project we are proposing and the request to have this parcel rezoned to a PUD will allow for a Comfort Suites Hotel to be developed as described herein and provide the best chance of success given the recent and expected business growth in the Village of Cottage Grove. We respectfully submit to the Village this application and accompanying documentation for review and consideration by the Village's staff, Village Plan Commission and Village Board for approval of the General Development Plan (GDP).

Supporting Information:

1. Location Map
2. Project Themes / Images (Renderings)
3. General Development Plan (Site Plan)
4. Conceptual Landscaping Design (Site Plan and Renderings)
5. Conceptual Signage (Renderings)

Project Name:

Comfort Suites Hotel
Parcel ID No.: 112/0711-041-2120-1
Commerce Business Park
Cottage Grove, WI 53527

Applicant: Badger Hotel Group, LLC
1609 Landmark Dr., Ste. 106
Cottage Grove, WI 53527

Developer: Greywolf Partners, Inc.
1609 Landmark Dr., Ste. 106
Cottage Grove, WI 53527

Architect: WB Design
Eli Hershberger & Bruce Brotherton
6834 Country Road 672, Ste. 102
Millersburg, OH 44654

Civil Engineer: JSD Professional Services, Inc.
161 Horizon Drive, Suite 101
Verona, WI 53593

Project Location Map

The subject property of this application is located in the Village of Cottage Grove Commerce Park, off of County Highway N. It is an open lot bounded by County Highway N on its west, a retail center with an address of 1609 Landmark Drive to its North, and Kwik Trip and Arby's on the south. The property is identified by parcel no., 112/0711-041-2120-1, and is approximately 1.320 acres or 57,506 square feet. Please see the attached existing conditions survey and location map of the subject property and its vicinity at 11 x 17 inches.

Vicinity Map

Included herewith is a vicinity map identifying all neighboring land or property owners within 400' of the subject property for this proposed PUD.

General Project Themes and Images

The proposed development for the subject property is a five (5) story, 82 room mid-scale hotel that will be approximately 11,400 square feet at the ground floor and be branded as a Comfort Suites, which is part of the Choice Hotels family of brands. The renderings provided are for conceptual understanding only and to provide perspective for the general size, height, width, landscaping, parking lot and signage that will occupy this property. Final design elements have yet to be decided, but the intent is to develop an attractive, upscale looking hotel that continues to enhance the look and feel of the Commerce Park and compliments the surrounding buildings. The specific design features and materials of the hotel will be submitted for approval at the Precise Implementation Plan phase of this project.

Architecture and Materials

The following renderings are being provided only for illustrative purposes to show the style of architecture and materials being considered for this project. The details of the building are still being designed and will be submitted for approval at the Precise Implementation Plan phase of this project. As noted above, the intent is to develop a five (5) story mid-scale hotel that complies with the Comfort Suites and Choice Hotel franchise standards for room quantity and quality.

The building structure will be an insulated concrete form (ICF) framed structure with metal bar joists and concrete floor system with metal decking. Exterior finishes will include a blend of stone/brick/metal/EFIS per CHOICE brand standards. Ownership is working with the architect to design the building with an attractive and cost-effective appearance that is compatible with the surrounding buildings and matches the Comfort Suites newly released exterior design standards by CHOICE. Interior finishes will also be in accordance with Comfort Suite brand standards.

General Mix of Land Uses

The proposed hotel will be a suite only hotel and have a mix of king and double queen suites with the same types of rooms available as ADA accessible rooms as well. The floor plan of the proposed hotel provides for a entry from the south side of the building, an indoor pool with equipment room, fitness center, meeting room that can be rented by the public, breakfast/food prep service area, an outdoor space that guests can enjoy, and easy access to the amenities in the retail center on the north side of the property. The plan currently provides for 98 surface parking spaces, which meets the requirement of one stall per room and the max number of employees on site at any given time. A site plan is attached for review.

Approximate nonresidential intensities

The proposed nonresidential intensity at full build-out is:

- Floor Area Ratio (FAR): Approximately 1.0 (PO district maximum noted as 0.3)
- Landscape surface area ratio: Currently shown as approximately 14.4% (PO district minimum noted as 25%)

The total (gross) floor area of nonresidential space is approximately 57,000 square feet. The FAR is calculated by dividing 57,000 by 57,506 to arrive at approximately 1.0.

General treatment of natural features

The site is currently open space and relatively flat with a slight topography that slopes from west to east. The site will utilize the existing Village stormwater systems that are in place and surround the subject property.

General relationship to nearby properties and public streets

The proposed hotel will be sized and designed to compliment the existing properties in the park. The site sits lower than County Highway N on the west side, which will aid to the visual scale of the building, and slopes towards Landmark Drive. A dumpster enclosure is currently located on the northwest side of

the building for the retail center to the north, which may also be utilized or augmented for the hotel's use to minimize the need for additional enclosures. The parking lot will wrap around the west, south and east portions of the building, blending with existing parking for Arby's and Kwik Trip, as well as enhancing the functionality of the retail facilities parking and traffic flow to the north by allowing traffic flow from the retail center to continue around the perimeter of the two properties, whereas currently customers must turn around and exit the way they entered on the north side of the retail center. The driveway entrances to the hotel will not require additional cut-ins and will make use of existing driveways on Landmark Drive.

Sewer, water and electrical utilities are existing, adjacent to and extending into the subject parcel.

General relationship of the project to the Comprehensive Master Plan

The architecture and materials proposed are consistent with the policies in the Comprehensive Master Plan. The proposed use compliments the uses already in place in the park and will provide additional support to the commercial uses already in existence (e.g., various restaurants in the Park, lodging for business travelers doing business in the park or in the surrounding area).

Statement regarding why PUD zoning is proposed

It was determined that some of the proposed improvements to this site for a hotel would not be permitted in the current PO zoning district. These items included the following:

- The number of floors being proposed for the hotel is five, while current PO Zoning only allows for a maximum of four floors;
- The proposed building will be approximately 64 feet high, while the maximum height a building can be in the PO Zoning is 45';
- The minimum landscape surface ratio allowed in the PO is 25% minimum greenspace/pervious surface, while the proposed site will have a landscape surface ratio of approximately 14.4%;
- The maximum floor area ratio in the PO Zoning is 0.3, while the floor ratio area of the proposed hotel will be approximately 1.0;
- Setbacks for both building and paved surfaces are not obtainable in the proposed plan.
- The limited green space available for this project requires us to seek an exception through PUD zoning.

Despite these challenges, a hotel on this site can compliment the existing commercial and restaurant activities, provide lodging for businesses within the Commerce Park, as well as support recreational activities in the surrounding area (e.g., hockey and rugby tournaments, golf outings, and weddings). In addition, the amenities of the hotel, such as the meeting room are valuable resources that will be available for the public's use.

Zoning standards of the most comparable standard zoning district

Zoning Standards	PO	Proposed Development
Land use	Office	Commercial Indoor Lodging
Floor Area Ratio	0.3	Approximately 1.0
Min. landscape surface ratio	25%	Approximately 14.4%
Building front or street setback (east side/Landmark Drive)	25 feet	25 feet
Building side setback (north and south sides)	10 feet	0 feet
Building rear setback (west/County Highway N)	30 feet	30 feet
Paved surface setback: side/rear	5 feet	0 feet
Paved surface setback: street	10 feet	0 feet
Maximum Height / Floors	45 feet / 4 floors	64 Feet / 5 floors
On-site parking		1 space / bedroom + 1 space for each employee on the largest shift. Exceed Requirement. 90 stalls provided on site. 8 additional stalls provided under shared parking easement with neighboring property owners to the south. Additional parking is available at retail property to the north which is owned by an affiliated entity.

General conceptual landscape plan

The General Conceptual Landscape Plan treatment of site areas is depicted in the attached site plan and renderings.

Conceptual signage plan

The attached renderings illustrate preliminary signage locations for the project. Currently, a professionally designed, brand designated, monument sign and internally lit building signage that is proportionate to the scale of the building are being considered.

Written justification for the proposed planned unit development

A Planned Unit Development (PUD) is appropriate for this site in order to bring a commercial indoor lodging facility (hotel) to the commerce park that meets the needs and expected growth of the commerce park and Village of Cottage Grove community.

The building, as proposed, will not only enhance the character of the commerce park and provide a much needed service to the businesses that operate within it, but it will also bring a needed service to the Village of Cottage Grove's residents that supports personal, business and recreational activities within the community. We look forward to discussing this project with the Village further and answering any questions.

We appreciate your help with this zoning application.

Sincerely,



Todd Rizzo
Senior Vice President
Greywolf Partners, Inc.



PLANNING STAFF REPORT

MEMO DATE: December 20, 2019

MTG. DATE: **JANUARY 8, 2020**

TO: Village of Cottage Grove Plan Commission

CC: Village of Cottage Grove Board of Trustees
Matt Giese – Village Administrator
Lisa Kalata – Village Clerk
Lee Boushea – Village Attorney
Michael Maloney – Village Engineer

FROM: [Erin Ruth, AICP – Village Planning Director](#)

RE: **Doudrins Distilling Conditional Use Permit – Outdoor Space**

BACKGROUND

Property Owner: Hogan Properties, LLC

Location: 300 Progress Drive

Area: approx. 11,000 sq. ft. outdoor space

Agent: Abby Abramovich – Doudrins Distilling

Existing Zoning: Planned Industrial

Proposed Zoning: Planned Industrial

Future Land Use Plan: Planned Industrial

OVERVIEW

Doudrins Distilling is a new manufacturer of alcoholic beverages located at 300 Progress Drive in the Cottage Grove Business Park that opened in 2019. The distillery is leasing space within the building. In addition to the distillery, they operate a tasting room within the space. A conditional use permit was granted earlier in 2019 for the tasting room due to its size relative to the manufacturing area. The applicant also holds a liquor license allowing them to serve beer in the tasting room.



The current request is for another Conditional Use Permit to allow the applicant to operate an outdoor component to the tasting room. The property currently includes a fenced area comprising approximately 11,000 sq. ft. with a gravel surface that was previously used to store vehicles. The applicants plan to add restrooms and a bar along the existing building with a new 12' x 24' stage on the north side of the fenced area. The stage will have a permanent power source and is intended primarily for live music. The small bar and restrooms will be enclosed and air conditioned.

Much of the area will be planted with turf. Gravel will remain along the southern fence line for use by food trucks that may be invited to events. There will be a playground in the southwest corner and a propane fueled fire pit in the northwest corner.

LOCATION MAP





COMPREHENSIVE PLAN CONSISTENCY

The proposed distillery and tasting room uses are consistent with the Planned Industrial designation in the Comprehensive Plan.

ZONING ORDINANCE CONSISTENCY

The proposed outdoor space is considered an 'accessory outdoor commercial entertainment' land use, which is permitted in the PI, Planned Industrial district as a conditional accessory use.

'Accessory outdoor commercial entertainment' land uses, as defined by 325-49(H)(25), include those that are "partially or wholly outside of an enclosed building, and are incidental to the principal activity conducted on the subject property." Examples listed in the ordinance include outdoor dining for more than 20 patrons and bars located outdoors. Three of the four regulations listed in the ordinance for this land use pertain to limitations when the project is adjacent to a residentially zoned property. The subject property is not adjacent to a residentially zoned property, so those regulations are not applicable to this project.

The fourth regulation states "any amplified noise requires a sound amplification permit." Such a permit shall be obtained prior to any outdoor musical or other amplified events being held.

The proposed project complies with the regulations for the Planned Industrial district per 325-41(A).

CONDITIONAL USE PERMIT CRITERIA

325-111(D)(2) of the zoning ordinance requires a proposed conditional use to be compliant with standards (a) to (f) of that section. In the opinion of staff, the proposed use is compliant with those standards as outlined below.

- a) *The proposed conditional use (the use in general, independent of its location) is in harmony with the purposes, goals, objectives, policies, and standards of the Village of Cottage Grove's Comprehensive Master Plan, this chapter and any other plan, program, or ordinance adopted or under consideration pursuant to official notice by the Village.*

The proposed use represents the expansion of a local business and it provides social space and an entertainment option for local residents while also serving as a destination for non-residents.

- b) *The proposed conditional use (in its specific location) is in harmony with the purposes, goals, objectives, policies, and standards of the Village of Cottage Grove's Comprehensive Master Plan, this chapter and any other plan, program, or ordinance adopted or under consideration pursuant to official notice by the Village.*



The proposed use is accessory to the manufacturing use which is clearly consistent with the planned industrial land use as described by the comprehensive plan.

- c) *The proposed conditional use, in its proposed location and as depicted on the required site plan, does not result in substantial or undue adverse impacts on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights of way, or other matters affecting the public health, safety, or general welfare either as they now exist or as they may in the future be developed as a result of implementation of the provisions of this chapter, the Comprehensive Master Plan, or any other plan, program, map or ordinance adopted or under consideration pursuant to official notice by the Village or other government agency having jurisdiction to guide development.*

While there is always some danger of disruptive activities in and around a business providing alcohol, the site is fenced in and well contained. The area around the property is entirely industrial which further minimizes any impacts, and the hours of operation (evenings) are not in conflict with surrounding businesses which generally operate during the day.

Outdoor music will be subject to an amplified noise permit.

- d) *The proposed conditional use maintains the desired consistency of land uses, land use intensities and land use impacts as related to the environs of the subject property.*

The proposed use does not affect intensity or other impacts.

- e) *The proposed conditional use is located in an area that will be adequately served by, and will not impose and undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property.*

The full range of urban services are available at the subject property and to the existing building, and the proposed use will not add an undue burden to any public utility or service.

- f) *The potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts.*

The proposed use is not anticipated to create adverse impacts on the Village or neighboring properties, while the potential public benefits are several, including:

1. Many breweries, wineries, and distilleries have become tourist destinations in recent years. The distillery is the first such business in the Village. The proposed outdoor space will only enhance their ability to draw tourists.
2. The proposed space has potential to act as a social gathering place for residents while providing new entertainment options.



STAFF RECOMMENDATIONS

Staff recommends that the requested Conditional Use Permit be **APPROVED WITH CONDITIONS**, with the conditions as follows:

1. Amplified sound outdoors will be subject to an amplified noise permit from the Village.
2. Prior to painting the new parking lines, provide a plan to the Village to verify the final number of spaces provided and to ensure the layout meets the zoning ordinance.
3. The project will require a minor land disturbance permit from the Village Engineer.

**CONDITIONAL USE PERMIT APPLICATION
VILLAGE OF COTTAGE GROVE**

APPLICANT: DOUNDRINS DISTILLING

APPLICANT ADDRESS: 300 Progress Dr. Units E & F

APPLICANT TELEPHONE: 262-357-4482

APPLICANT EMAIL ADDRESS: abby@doundrinsdistilling.com

Note: Applicant must be owner of the property where conditional use is requested, or signed letter from property owner acknowledging application must be provided.

PROPERTY ADDRESS: 300 Progress Dr. Unit E

ZONING CLASSIFICATION: PI, PLANNED INDUSTRIAL

CONDITIONAL USE REQUESTED: Outdoor tasting room space

Applicant Signature: Abby Carmona **Date:** 12/19/2019

PROVIDE THE FOLLOWING ITEMS:

1. Submittal materials per 325-111(C) of the Zoning Ordinance, as described on the following pages.
2. Fee of \$350.
3. Escrow deposit of \$250 for consultant review. If actual review fees are less, excess will be returned. If actual review fees exceed escrow amount, applicant will be billed for the excess.

Mail or deliver the completed application form, submittal materials, and fees to the Village Hall.

**Village of Cottage Grove
221 E. Cottage Grove Road
Cottage Grove, WI 53527
Telephone: (608) 839-4704
Office Hours: M-F 7:30 a.m. to 4:30 p.m.**

For Office Use Only

Date Received:
Plan Commission meeting date:
Village Board meeting date:

**VILLAGE OF COTTAGE GROVE PROCEDURAL CHECKLIST FOR
CONDITIONAL USE REVIEW AND APPROVAL**

This form should be used by the Applicant as a guide to submitting a complete application for a conditional use and by the Village to process said application. Parts I and II should be used by the Applicant to submit a complete application; Part III should be used by the Village as a guide when processing said application.

I. APPLICATION SUBMITTAL PACKET REQUIREMENTS

Prior to submitting the 20 final complete applications as certified by the Zoning Administrator, the Applicant shall submit 5 initial draft application packets for staff review, followed by one revised draft final application packet based upon staff review and comments. Submittal materials may be submitted as pdf files via email in lieu of printed copies by arrangement with the Village Planning Director.

Submittal Materials per 325-111(C)

Date: _____ by: _____

- (a) A map of the proposed conditional use:
 - Showing all lands for which the conditional use is proposed;
 - Showing all other lands within 400 feet of the boundaries of the subject property;
 - Referenced to a list of the names and addresses of the owners of said lands as the same appear on the current records of the Register of Deeds of Dane County (as provided by the Village of Cottage Grove).
 - Clearly indicating the current zoning of the subject property and its environs, and the jurisdiction(s) which maintains control;
 - Map and all its parts are clearly reproducible with a photocopier;
 - Map size 11" by 17" shall be at a scale which is not less than one inch equals 800 feet;
 - All lot dimensions of the subject property provided;
 - Graphic Scale and north arrow provided.

- (b) A map, such as the Land Use Plan Map, of the generalized location of the subject property in relation to the Village as a whole;

- (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations;

- (d) A site plan of the subject property as proposed for development. Said Site plan shall conform to any and all the requirements of §325-803. If the proposed conditional use is a group development, a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan;

- (e) Written justification for the proposed conditional use:
 - Provide written justification for the proposed conditional use consisting of the reasons why the Applicant believes the proposed conditional use is appropriate, particularly as evidenced by compliance with the standards set forth in §325-802D(2)(a) through (f).

THESE WILL BE ANSWERED BY STAFF - IF YOU HAVE INPUT, PLEASE PROVIDE IT

II. JUSTIFICATION OF THE PROPOSED CONDITIONAL USE

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the Village of Cottage Grove's Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

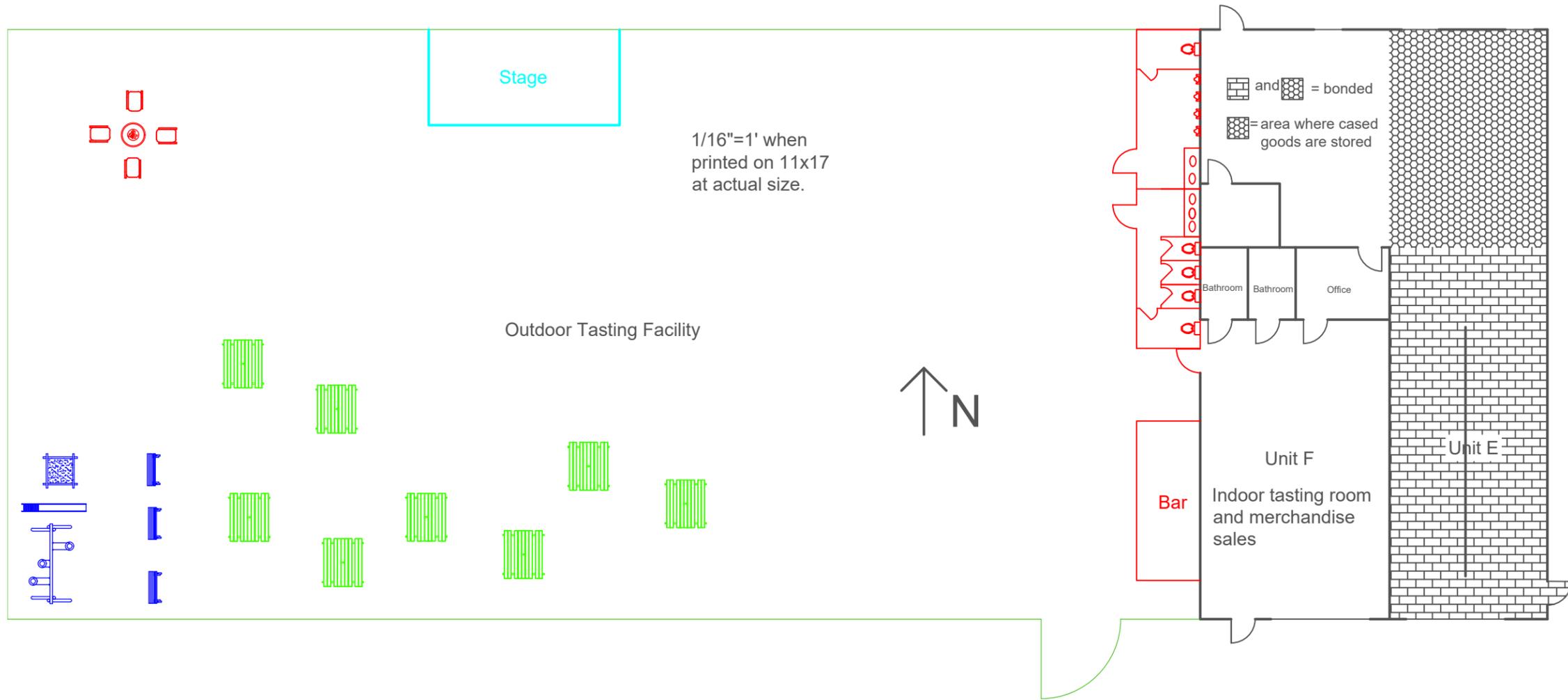
2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the Village of Cottage Grove Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the Village?

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see 6.3(d), above), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the Village or other governmental agency have jurisdiction to guide development?

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

5. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 1. – 5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?



Written description of space:

(See attached drawing for reference)

As part of 300 Progress Dr., Unit E, the lease includes a fenced outdoor space totaling ~11,000 sq. ft. directly to the West of the building. This permit is pertaining to remodeling and using that outdoor space for a family-friendly patio / green space for additional patronage and entertainment for Doundrins Distilling.

Background Note: Doundrins Distilling rents both Unit E and Unit F. Production happens in Unit E indoor space, and Unit F is used for a tasting room. Inside Unit F are 2 unisex bathrooms, one of which is ADA.

Entrances/Exits:

The space will be entirely fenced. There will be a door installed going from the Unit F tasting room to the outdoor tasting facility. This will allow patrons and staff to go from indoor to outdoor space easily. There will also be a large gate on the South end of the outdoor fence. This will allow access for vehicles and equipment into the space and may be used for patrons as well.

Security:

The fenced area will be locked at all times when not in use. All building entrances will always be locked when not in use. In addition, the bar and bathroom facilities will be able to be closed up and locked when not in use. The building exterior has permanent flood lights on at night around the perimeter.

Bathrooms:

The intent is to install air-conditioned, permanent bathrooms outside. This will be a fully enclosed building with permanent water supply and electrical. There would be a men's facility and a women's facility, both including ADA access. Shown in the drawing is a men's facility with 4 urinals, 1 stall, and 2 sinks, and a women's facility with 4 stalls and 3 sinks. The ADA stalls in both men's and women's facilities will include a baby changing table. The bathroom building will be locked up when not in use.

Stage:

We will build an outdoor stage with the intent to offer our patrons live music entertainment during regular hours as well as offer the stage as a feature for any customers that might rent the facility out. The drawing shows a 12' x 24' stage. This is our preliminary size estimate based on research on medium-sized band needs. This could change in size. There will be electrical power outlets permanently located at the stage for entertainment to use. The stage will face South so as to ensure ambient noise travels toward a non-residential area.

Outdoor Bar:

Written description of space:

(See attached drawing for reference)

The intent is to install an air-conditioned, permanent service bar outside where patrons can order drinks. This will be a fully enclosed room with permanent water supply and electrical.

Playground Area:

In the Southwest corner of the space is shown a small playground area. This is important to our business to offer a family-friendly environment where parents can bring their children and all members of the family can enjoy themselves.

Food Trucks:

On the South fence we will leave gravel to allow food trucks/carts to drive into the space and serve food to our patrons. The convenience of having the food trucks located inside of the fenced outdoor tasting facility will increase sales for those vendors and help those businesses to grow along with us even more.

Fire Pit:

In the Northwest corner of the space we intend to put a gas fire pit. This would be fueled by an independent propane source, not tied into other gas lines for the building to minimize risks.

General Area:

Throughout the open area, there will be various seating arrangements offered as well as general open spaces for people to bring their own folding chairs to utilize. We intend to keep some green space open for lawn games as well.



Abby Abramovich <aabramovich.distillery@gmail.com>

layout drawing

Robert Hogan <rhogan422@gmail.com>

Thu, Dec 19, 2019 at 2:16 PM

To: Abby Abramovich <abby@doundrinsdistilling.com>

Hi Abby,

As discuss, we are OK with the proposed plans for the outdoor tasting area with the exception of the fire pit element. We are OK with a fire pit that is fueled by an independent propane source, but this approval is conditional based on approval from our insurance carrier.

Jerry Hogan

[Quoted text hidden]

Written Justification (notes):

1. Harmony with objectives of Village...

Our business model has always been to grow and support the businesses and community around us. Having a large outdoor patio / green space where we can hold entertainment events will only bring more people into the community to grow and support other businesses. These patrons will need food, fuel, shopping, and a place to stay when they come to Cottage Grove for our distillery and our outdoor tasting facility events.

2. Location in harmony with Village...

The location is in a business park. To the North of us between our outdoor tasting area and the closest residential block is a full block of business park businesses and a large wooded area that occupies 2/3 of the area of that city block. To the East of us is more business park for several blocks. To the West of us is a full block of business park buildings and more of the wooded area before reaching any residential areas. To the South of us are more businesses and the railroad tracks. This location is optimal to minimize sound disturbances to any residential areas. In addition we will have the stage facing South to further minimize impact.



3. Proposed conditional use result in any adverse impact?

See response for number 2 above regarding comments on adverse impact.

In addition, regarding parking: our building has 2 parking lots. The entire parking lot for the South side of the building is for units E & F, both of which we have. We intend to paint lines to

Written Justification (notes):

be able to get a third row of parking in the parking lot as it stands now, with now further expansion required. There will also be the other lot for us to use as overflow parking. In addition, Progress Drive and Bonnie Road have open parking available on both sides of the street.

4. -

5. **Will conditional use be adequately served by facilities in area?**

See discussion above about parking. Trash and recycling services are paid for privately by tenants and owners of the building. Additional electrical and water should be within capacity of existing building utilities. If further expansion is needed for either, that will be performed by applying for appropriate construction permits through the city and working with utility companies as applicable.

6. -



PLANNING STAFF REPORT

MEMO DATE: December 17, 2019

MTG. DATE: JANUARY 8, 2020

TO: Village of Cottage Grove Plan Commission

CC: Matt Giese – Village Administrator
Lisa Kalata – Village Clerk
Lee Boushea – Village Attorney
James Bongard – Village Engineer

FROM: [Erin Ruth, AICP – Village Planning Director](#)

RE: **Monona Grove School District – Glacial Drumlin Cafeteria Addition**

BACKGROUND

Property Owner: Monona Grove School District

Location: 801 Damascus Trail

Area: 36.7 acres

Agent: Jerrud Rossing – MGSD
Maclain Schramm – Eppstein Uhen Architects

Existing Zoning: SR-4, Single-Family Residential

Proposed Zoning: SR-4, Single-Family Residential

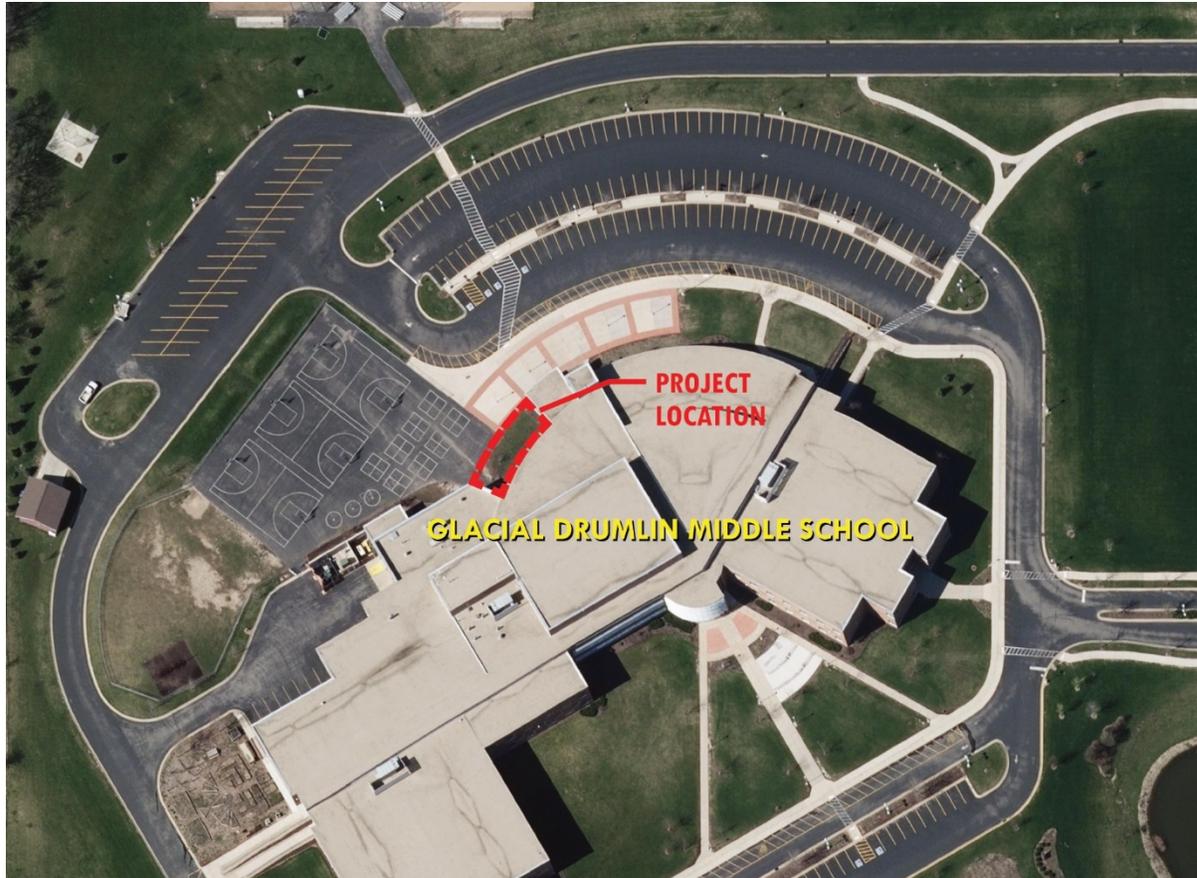
OVERVIEW

The applicant, the Monona Grove School District, is seeking approval of a site plan amendment to allow the construction of an approximately 1,500 sq. ft. addition to the school's cafeteria.

The addition will not increase enrollment or affect capacity, but it is intended to reduce the number of lunch periods by accommodating more students at a given lunch period. The exterior is proposed to consist of brick and glazing to match the existing building.



LOCATION MAP



COMPREHENSIVE PLAN CONSISTENCY

The subject area is designated as a Community Facility on the Comprehensive Plan's Future Land Use map. An institutional use such as the proposed elementary school is permitted in those districts.

Land Use

Specific polices can be found under the 'Community Facilities' section of the Comprehensive Plan's Land Use Chapter. Policies relevant to the proposed school are as follows:

- *Community Facility uses such as schools, churches, and civic buildings should be allowed as conditional uses in all zoning districts.*

A conditional use permit was granted at the time of the initial school approval. The cafeteria addition complies with that permit and does not require amendment.



- *Continue to work with the Monona Grove School District to coordinate uses and activities on district owned land. Existing community facility uses should work with the neighborhood to discuss potential long-term expansion plans and how these plans would impact the area. Pre-identified Community Facility expansion areas should be delineated by institutions whenever possible to minimize the potential for future land use conflicts.*

No additional expansion are planned at this facility.

- *The proposed use should not have a negative effect on existing traffic flows and volumes in the surrounding neighborhood. The existing street system must be adequate to meet increased traffic associated with the project.*

The proposed project does not affect enrollment or capacity and therefore will not increase traffic.

- *As a general rule, Community Facility uses should not generate on-street parking in residential neighborhoods. All parking needs for Community Facility uses should be met on-site.*

The proposed project does not affect enrollment or capacity and therefore will not increase parking.

ZONING ORDINANCE CONSISTENCY

The proposed elementary school is an 'indoor institutional' land use per the Zoning Ordinance. That use is permitted as a conditional use in the SR-4, Single Family Residential district. There is a conditional use permit in place for the school that is not affected by the proposed cafeteria addition.

Per 325-38(A)(2)(b)(2), an indoor institutional use is permitted as a conditional use in the SR-4 district. The proposed project meets the all regulations applicable to non-residential uses per 325-38(A)(7)(a) and (b).

Per 325-49(C)(3), a school is defined as an indoor institutional land use. Regulations related to an indoor institutional land use that are relevant to this project are as follows:

- *All structures shall be located a minimum of 50' from any residentially zoned property.*

The proposed school addition is more than 50' from all property lines.

The proposed project is subject to the landscaping requirements in Article V of the Zoning Ordinance. The addition does not trigger additional landscaping requirements.

The proposed project meets the requirements of 325-90 which regulates exterior building materials. The architecture is attractive and the proposed materials are high quality.



STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the proposed site plan amendment.

VILLAGE OF COTTAGE GROVE
REQUEST TO AMEND AN APPROVED SITE PLAN

In accordance with Ordinance 325-112(F) "any and all variations between development and/or land use activity on the subject property and the approved site plan is a violation of this chapter. An approved site plan shall be revised and approved via the procedure of Section 325-112(B) and (C), so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications."

APPLICANT: Monona Grove School District

APPLICANT ADDRESS: GLACIAL DRUMMIN MIDDLE SCHOOL

TELEPHONE: 608-316-1916

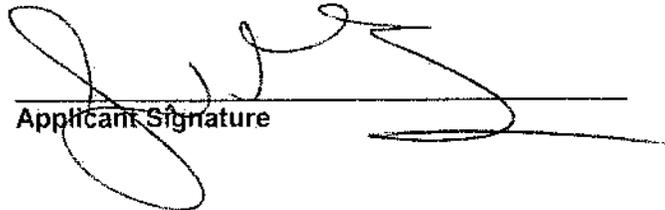
EMAIL ADDRESS: jerrud.rossing@mgschools.net

PROJECT LOCATION:
801 Damascus Trail, Cottage Grove, WI 53527

PROPOSED SITE PLAN MODIFICATION IS:
CAFETERIA ADDITION

- APPLICATION SUBMITTAL REQUIREMENTS:
1. Submittal requirements per 325-112(C), see following pages.
 2. Fee of \$200.
 3. Escrow deposit of \$500 for consultant review. If actual review fees are less, excess will be returned. If actual review fees exceed escrow amount, applicant will be billed for the excess.

12/2/19
Date


Applicant Signature

For office use only:

Date Received:
Planning Commission Meeting Date:
Village Board Meeting Date:

SUBMITTAL REQUIREMENTS PER 325-112(C):

Required items that are deemed to be not applicable to the proposed project may be waived by the Zoning Administrator. Detailed site analysis per 325-112(C)(8) may be required; verify with Village staff. Submittal materials may be submitted as pdf files via email in lieu of printed copies by arrangement with the Village Planning Director.

(1) Written description of the intended use describing in reasonable detail the:

- (a) Existing zoning district(s) ~~and proposed zoning district(s) if different~~.
- (b) Land use plan map designation(s).
- ~~(c) Description of existing environmental features.~~
- (d) Current land uses present on the subject property.
- (e) Proposed land uses for the subject property.
- ~~(f) Projected number of residents, employees and daily customers.~~
- (g) ~~Proposed amount of dwelling units, floor area, impervious surface area and landscape surface area and resulting site density, floor area ratio, impervious surface area ratio and landscape surface area ratio.~~
- (h) Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings ~~and traffic generation.~~
- ~~(i) Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VI, including street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage and hazardous materials. If no such nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VI), then the statement "The proposed development shall comply with all requirements of Article VI" shall be provided.~~
- ~~(j) Exterior building and fencing materials.~~
- ~~(k) Possible future expansion and related implications for § 325-112C(1)(a) through (j) above.~~
- (l) Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

(2) A small location map scalable at 11 inches by 17 inches showing the subject property, all properties within 300 feet and illustrating its relationship to the nearest street

intersection. (A photocopy of the pertinent section of the Village's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

(3) A property site plan drawing (and reduction scalable at 11 inches by 17 inches) which includes:

- (a) A title block which indicates the name, address and phone number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for the project.
- (b) The date of the original plan and the latest date of revision to the plan.
- (c) A North arrow and a graphic scale. Said scale shall not be smaller than one inch equals 100 feet.
- ~~(d) A legal description of the subject property.~~
- (e) All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
- (f) All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.
- (g) All required building setback lines.
- (h) All existing and proposed buildings, structures and paved areas, including building entrances, walks, drives, decks, patios, fences, walls and utility and drainage systems, connections and fixtures.
- ~~(i) The location and dimension (cross section and entry throat) of all access points onto public streets.~~
- ~~(j) The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by this chapter.~~
- ~~(k) The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas.~~
- ~~(l) The location of all outdoor storage areas and the design of all screening devices.~~
- ~~(m) The location, type, height, size and lighting of all signage on the subject property.~~
- ~~(n) The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property, including the clear demonstration of~~

~~compliance with a limit of 1.0 footcandles at nonresidential property lines and 0.5 footcandles at residential property lines.~~

~~(o) The location and type of any permanently protected green space areas.~~

(p) The location of existing and proposed drainage facilities. - ONLY IF CHANGING

(q) In the legend, data for the subject property:

[1] Lot area;

[2] Floor area;

[3] Floor area ratio (b/a);

[4] Impervious surface area;

[5] Impervious surface ratio (d/a); and

[6] Building height.

(4) A detailed landscaping plan of the subject property, at the same scale as the main plan (and reduction scalable at 11 inches by 17 inches), showing the location of all required bufferyard and landscaping areas and existing and proposed landscape point fencing and berm options for meeting said requirements. The landscaping plan shall demonstrate complete compliance with the requirements of Village landscaping requirements. (NOTE: the individual plant locations and species, fencing types and heights and berm heights need to be provided.) ONLY IF CHANGING

(5) A grading and erosion control plan at the same scale as the main plan (and reduction scalable at 11 inches by 17 inches) showing existing and proposed grades, including retention walls and related devices, and erosion control measures per Wisconsin Administrative Code, COMM Chapter 21, Uniform Dwelling Code, and Chapter 65, Commercial Construction. - ONLY IF CHANGING

(6) Elevation drawings of proposed buildings or proposed remodeling of existing buildings showing finished exterior treatment shall also be submitted, with adequate labels provided to clearly depict exterior materials, texture, color and overall appearance. Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings. - ONLY FOR NEW ADDITION

~~(7) A certified survey may be required by the Zoning Administrator in instances where he determines compliance with setback requirements may be difficult. The survey shall be prepared by a registered land surveyor and shall depict property lines and proposed buildings, structures and paved areas.~~

Monona Grove School District – Proposed Addition to Glacial Drumlin School

Village of Cottage Grove Plan Commission Submittal Written Description

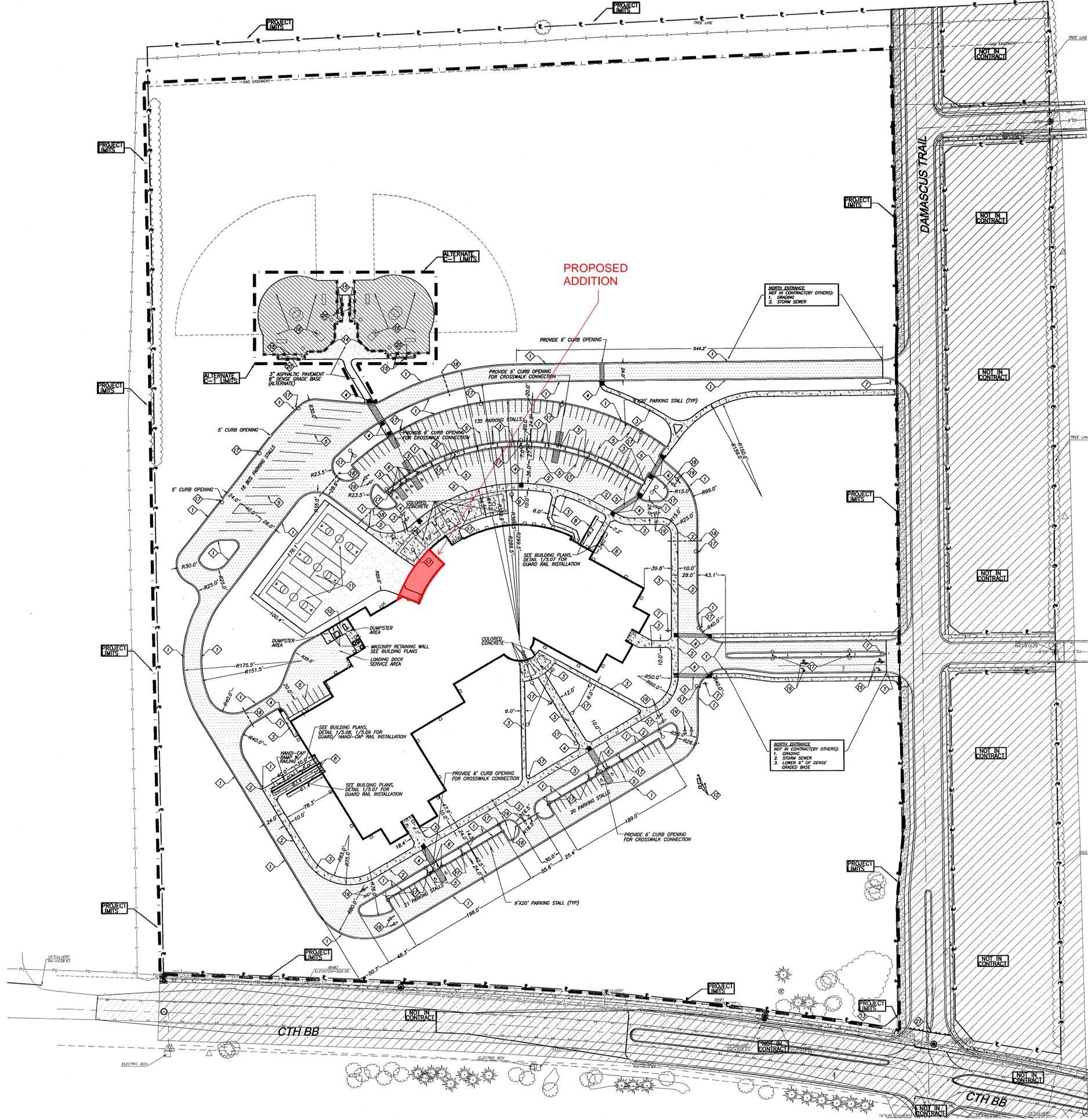
December 4, 2019

The Monona Grove School District proposes to construct an addition to the existing cafeteria space. The addition is not intended to add capacity to the school but rather reduce the number of lunch periods for the students by increasing space in the cafeteria and increasing the number of food serving lines. The area proposed for the addition is currently paved with asphalt.

The property is currently zoned SR-4 (Single Family Residential). The current property is being utilized for educational purposes by Glacial Drumlin School.

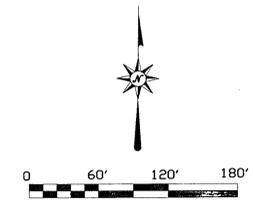
The school hours are currently from 8:00AM until 3:20PM.

The proposed exterior building materials for the addition will match the existing building material which consist of brick, and glass.



SITE LEGEND

- 3" ASPHALTIC CONCRETE PAVEMENT
8" DENSE GRADED BASE
- 3.5" ASPHALTIC CONCRETE PAVEMENT
18" DENSE GRADED BASE
- 4" CONCRETE PAVEMENT
6" DENSE GRADED BASE
- 6" INFIELD MATERIAL
(ALTERNATE)



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E

D

C

B

A

KEYNOTES PER SHEET

0966-03 | PATCH AND REPAIR CRACKED COVE BASE TO MATCH EXISTING.

AREA OF WORK

AREA INCLUDED IN SCOPE



milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350

madison 309 West Johnson Street, Suite 202
Madison, Wisconsin 53703
608.442.2550

des moines 699 Walnut Street, Suite 400
Des Moines, Iowa 50309
515.724.5840

denver 1899 Wynkoop Street, Suite 300
Denver, Colorado 80202
303.556.4500

PROJECT INFORMATION

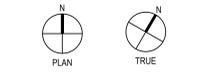
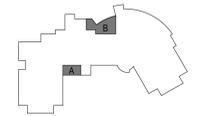
**GLACIAL DRUMLIN
MIDDLE SCHOOL**

**D 801 DAMASCUS
TRAIL
COTTAGE GROVE WI
53527**

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
04/18/2019	SCHEMATIC DESIGN SET
08/19/2019	DESIGN DEVELOPMENT / PROGRESS SET
08/16/2019	50% CONSTRUCTION DOCUMENT SET
09/27/2019	CONSTRUCTION DOCUMENTS

KEY PLAN



SHEET INFORMATION

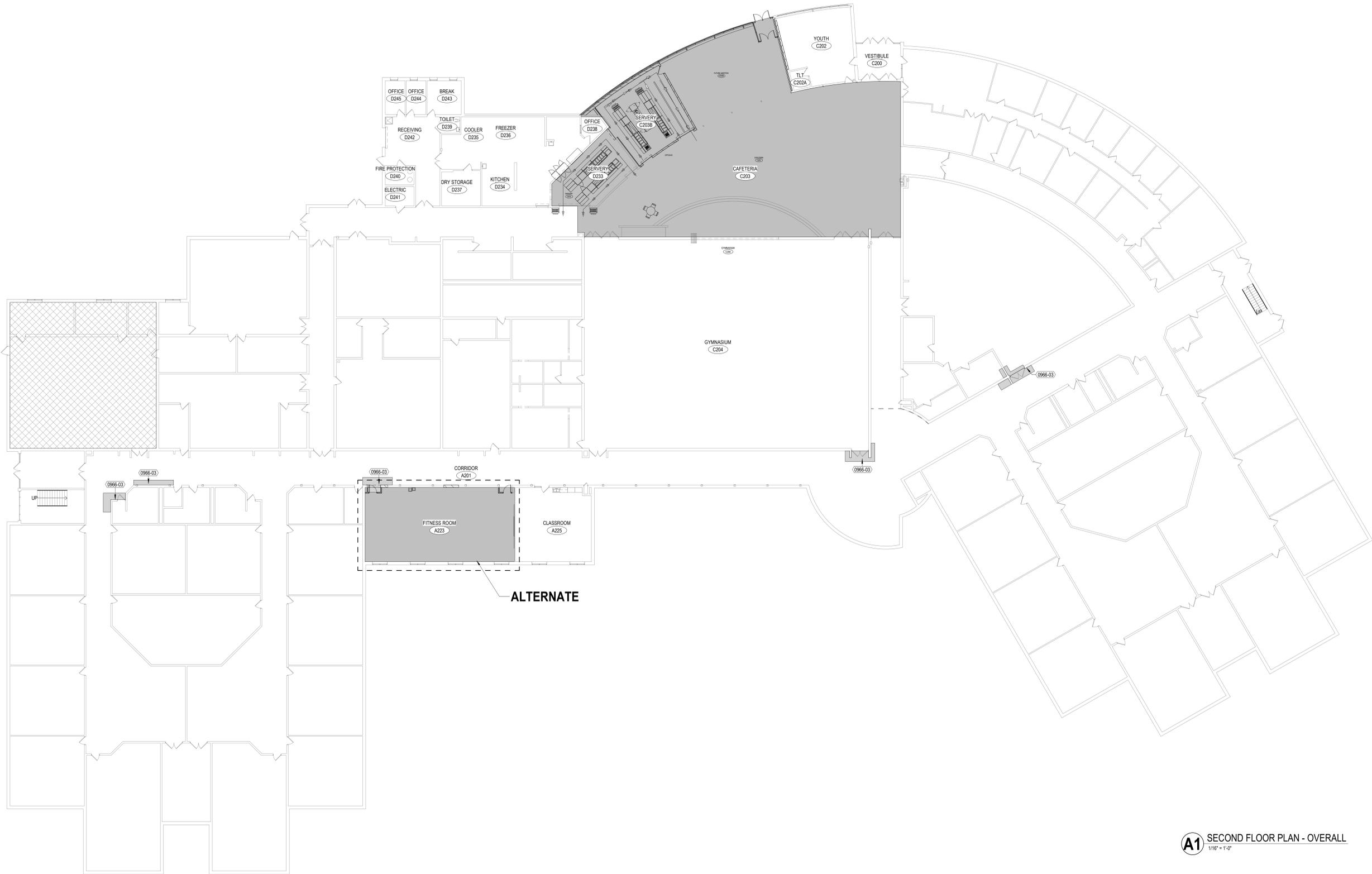
PROJECT MANAGER RV

PROJECT NUMBER 317300

**SECOND FLOOR
PLAN - OVERALL**

A102

© Epstein Uhen Architects, Inc.



A1 SECOND FLOOR PLAN - OVERALL
1/16" = 1'-0"

KEYNOTES PER SHEET	
0101	ALIGN FINISHES
0104	ALIGN FINISHED FACE OF NEW WALL TO ADJACENT EXISTING SURFACE

SHEET NOTES - FLOOR PLAN

- BEFORE BEGINNING WORK, INVESTIGATE AND VERIFY THE EXISTENCE AND LOCATION OF MECHANICAL AND ELECTRICAL SYSTEMS AND OTHER CONSTRUCTION AFFECTING THE WORK. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- PROVIDE REQUIRED UTILITY SERVICES TO EQUIPMENT, FURNISHINGS AND APPLIANCES. COORDINATE REQUIREMENTS WITH OWNER.
- DIMENSIONS ON FLOOR PLANS ARE TO FINISH FACE OF WALLS UNLESS NOTED OTHERWISE.
- VERIFY STRUCTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO POST TENSION CABLES OR OTHER REINFORCEMENT EMBEDDED IN FLOOR SLABS PRIOR TO CORING OR CUTTING. COORDINATE VERIFICATION METHOD WITH OWNER.
- PROVIDE ALL FINISH SAMPLES TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION, INCLUDING BUT NOT LIMITED TO CARPET, WALL COVERINGS, PAINT DRAW-DOWNS, VINYL BASE.
- ALL WALLS SHALL BE WALL TYPE S3A-S11 UNLESS NOTED OTHERWISE. SEE WALL TYPES ON SHEET A101.
- PROVIDE MOISTURE RESISTANT AND MOLD RESISTANT TYPE GYPSUM BOARD AT PLUMBING FIXTURE WALLS.
- LOCATE ALL DOOR JAMBS 4 INCHES FROM ADJACENT PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
- PROVIDE BLOCKING AND FRAMING AS INDICATED AND AS REQUIRED TO SUPPORT FACING MATERIALS, FIXTURES, SPECIALTY ITEMS, MILLWORK AND TRIM.
- PROVIDE 3/4 INCHES FIRE-RETARDANT TREATED PLYWOOD AS BACKING PANELS FOR TELEPHONE & ELECTRICAL EQUIPMENT. INSTALL AT 1'-0" AFF TO FINISHED CEILING. PAINT PLYWOOD TO MATCH ADJACENT WALL FINISH. COORDINATE FINAL SIZE AND LOCATION WITH OWNER.
- PATCH AND REPAIR FLOOR IN PREPARATION FOR NEW FLOORING WHERE WALLS HAVE BEEN REMOVED.
- PATCH AND REPAIR CEILING GRID SYSTEM WHERE WALLS AND PARTITIONS HAVE BEEN REMOVED.
- PATCH AND REPAIR WALL WHERE PORTION OF WALL HAVE BEEN REMOVED TO COMPLETE NEW CONSTRUCTION.
- SEE ROOM FINISH MATERIAL SCHEDULE PLANS FOR EXTENT OF NEW WALL FINISHES, INCLUDING BUT NOT LIMITED TO WALL COVERING, WALL TILE, PAINT, PANELING, WALL PROTECTION, CORNER GUARDS AND/OR BASE. PROPER WALL PREP INCLUDING BUT NOT LIMITED TO REMOVING EXISTING WALL FINISHES AND ADHESIVE RESIDUE, PATCHING SUBSTRATES, PRIMING AND LEVELING SHALL BE INCLUDED IN BASE BID AND NOT CONSIDERED AN EXTRA CHARGE.
- ALL AREAS DISTURBED BY DEMOLITION SHALL BE PATCHED AND PROPERLY PREPARED FOR NEW FINISH APPLICATIONS. WHERE ADJACENT FINISHES ARE EXISTING TO REMAIN, PATCH AND MATCH EXISTING FINISHES. CONSULT WITH THE OWNER TO IDENTIFY ATTIC STOCK AND/OR PREVIOUS MATERIAL SPECIFICATIONS.
- SEE ROOM FINISH MATERIAL SCHEDULE PLANS FOR EXTENT OF NEW FLOORING MATERIAL. PROPER FLOOR PREP INCLUDING BUT NOT LIMITED TO TEAR OUT, CLEANING, PATCHING, AND LEVELING SHALL BE INCLUDED IN BASE BID AND NOT CONSIDERED AN EXTRA CHARGE.
- TOOTH IN CMU AND MASONRY TO MATCH ADJACENT EXISTING CONSTRUCTION AND JOINT PATTERN AT NEW OPENINGS. OPENINGS TO BE FILLED IN, AND AREAS TO BE PATCHED.
- USE CMU BOND BEAM LINTEL AT NEW CMU OPENINGS UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. SEE STRUCTURAL FOR ADDITIONAL LINTEL INFORMATION.
- PATCH AND REPAIR FLOOR, WALL AND ROOF ASSEMBLIES WHERE MECHANICAL, PLUMBING AND ELECTRICAL ITEMS HAVE BEEN REMOVED AND NOT REPLACED WITH NEW WORK.



milwaukee 333 East Chicago Street
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515.724.5840

denver 1899 Wynkoop Street, Suite 300
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303.556.4500

PROJECT INFORMATION

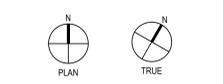
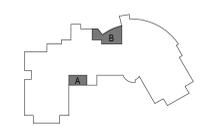
GLACIAL DRUMLIN MIDDLE SCHOOL

801 DAMASCUS TRAIL
COTTAGE GROVE WI
53527

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
04/18/2019	SCHEMATIC DESIGN SET
08/19/2019	DESIGN DEVELOPMENT PROGRESS SET
08/16/2019	50% CONSTRUCTION DOCUMENT SET
09/27/2019	CONSTRUCTION DOCUMENTS
10/11/2019	ADDENDUM 01

KEY PLAN



SHEET INFORMATION

PROJECT MANAGER RV
PROJECT NUMBER 317300

SECOND FLOOR PLANS - AREA A,B

A102AB

© Epstein Uhen Architects, Inc.

E

D

C

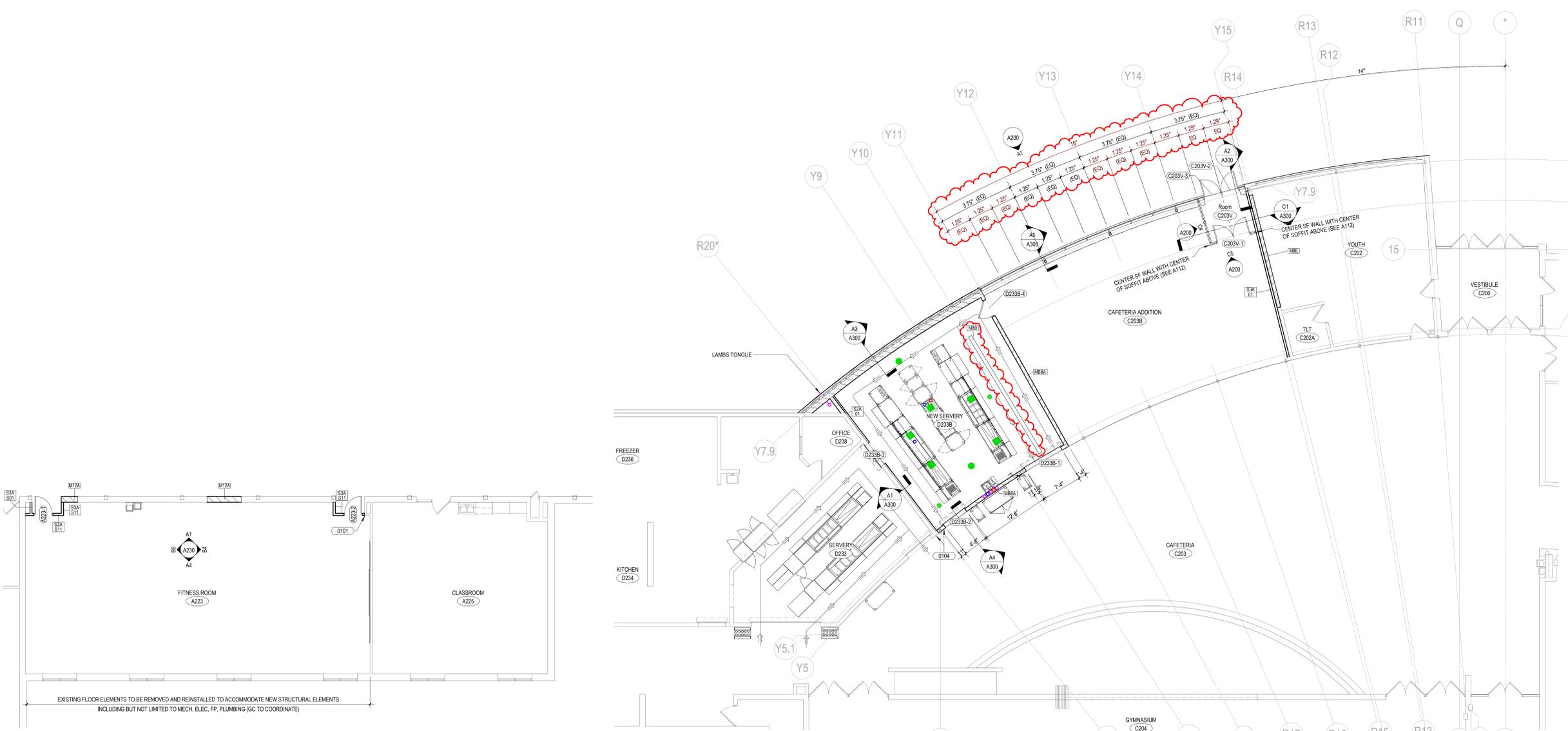
B

A

C

B

A



A1 SECOND FLOOR PLAN - AREA A (ADD ALTERNATE BID)
1/8" = 1'-0"

A3 SECOND FLOOR PLAN - AREA B
1/8" = 1'-0"

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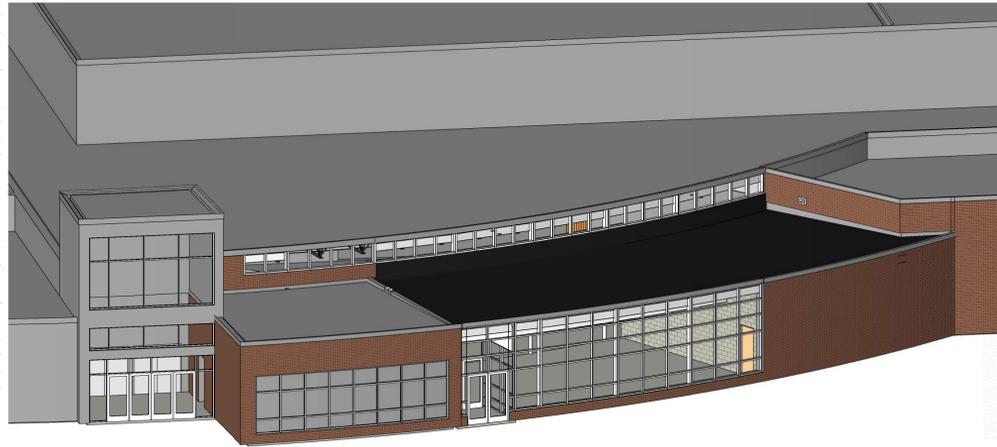
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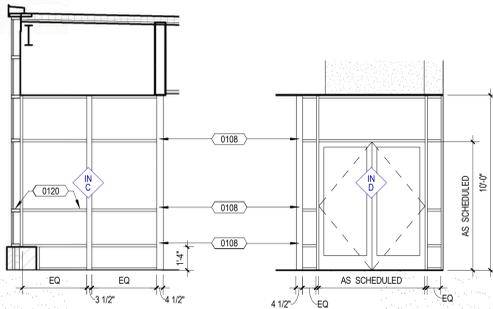
E



D

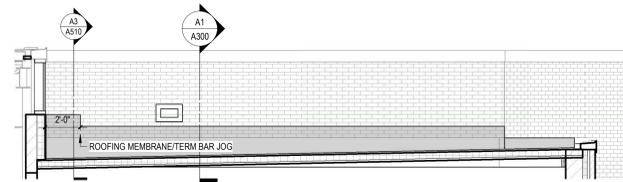


C



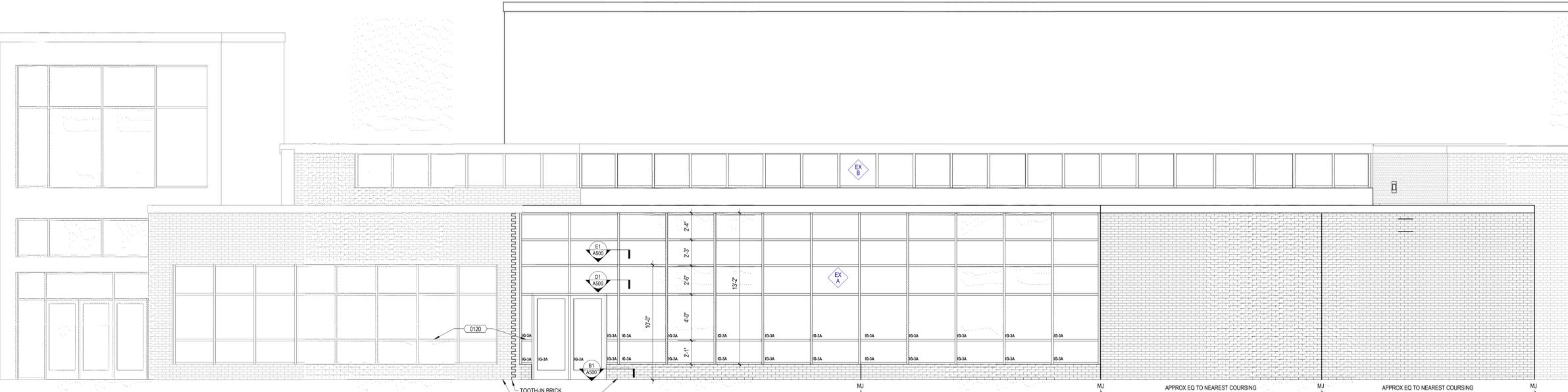
C4 WEST VESTIBULE ELEVATION
1/4" = 1'-0"

C5 SOUTH VESTIBULE ELEVATION
1/4" = 1'-0"



C6 BRICK AT ROOF ELEVATION
1/4" = 1'-0"

B



A

A1 ADDITION ELEVATION
1/4" = 1'-0"

ALUMINUM STOREFRONT NOTES

GENERAL NOTES

1. ALL OPENING DIMENSIONS TO BE FIELD VERIFIED. DIMENSIONS ARE SHOWN FOR INFORMATION ONLY AND MUST BE CONFIRMED PRIOR TO WINDOW FABRICATION.
2. SEE DOOR AND FRAME SCHEDULE SHEETS A600, FOR DOOR FRAME SIZES

FRAME NOTES



EX INDICATES KAWNEER 601T FOR BASIS OF DESIGN - EXTERIOR FRONT GLAZED STOREFRONT SYSTEM WITH 2" x 6" MULLIONS. UNLESS NOTED OTHERWISE.



IN INDICATES KAWNEER 450 FOR BASIS OF DESIGN - INTERIOR CENTER-GLAZED STOREFRONT SYSTEM WITH 1.75" x 4.5" MULLIONS. UNLESS NOTED OTHERWISE.

GLAZING NOTES

1. ALL EXTERIOR STOREFRONT GLAZING TO BE IG-2T UNLESS OTHERWISE NOTED.
2. ALL INTERIOR STOREFRONT GLAZING TO BE S-1T UNLESS OTHERWISE NOTED.

GLASS TYPES

EXTERIOR

- IG-2A: INSULATED CLEAR
- IG-2T: INSULATED GLAZING, TEMPERED
- IG-3A: INSULATED GLAZING, TEMPERED, LAMINATED

INTERIOR

- S-1A: VISION GLAZING
- S-1T: SAFETY GLAZING
- S-2TL: LAMINATED GLAZING

REFER TO SPECIFICATIONS FOR GLASS TYPE DESIGNATIONS

KEYNOTES PER SHEET

0108	ALIGN
0120	ALIGN TOP OF MULLION



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denver 1899 Wynkoop Street, Suite 300
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303.556.4500

PROJECT INFORMATION

GLACIAL DRUMLIN
MIDDLE SCHOOL

D 801 DAMASCUS
TRAIL
COTTAGE GROVE WI
53527

ISSUANCE AND REVISIONS

DATE	DESCRIPTION
06/19/2019	DESIGN DEVELOPMENT PROGRESS SET
08/16/2019	50% CONSTRUCTION DOCUMENT SET
09/27/2019	CONSTRUCTION DOCUMENTS
10/11/2019	ADDENDUM 01

KEY PLAN

SHEET INFORMATION

PROJECT MANAGER RV
PROJECT NUMBER 317300

A EXTERIOR & FRAME
TYPE ELEVATIONS &
AXONS

A200



Existing Exterior Perspective



New Exterior Perspective



PLANNING STAFF REPORT

MEMO DATE: December 2, 2019

MTG. DATE: **DECEMBER 11, 2019**

TO: Village of Cottage Grove Plan Commission

CC: Village of Cottage Grove Board of Trustees
Matt Giese – Village Administrator
Lisa Kalata – Village Clerk
Lee Boushea – Village Attorney
Michael Maloney – Village Engineer

FROM: [Erin Ruth, AICP – Village Planning Director](#)

RE: **Bakken Park Site Plan Amendment – Shelter and Splash Pad**

BACKGROUND

Property Owner: Village of Cottage Grove

Location: Bakken Park

Area: 28.6 acres

Agent: Sean Brusegar – Director of Parks & Rec., V. of Cottage Grove
Dan Schmitt – Landscape Architect, MSA

Existing Zoning: Park & Open Space

Proposed Zoning: Park & Open Space

Future Land Use Plan: Park & Open Space

OVERVIEW

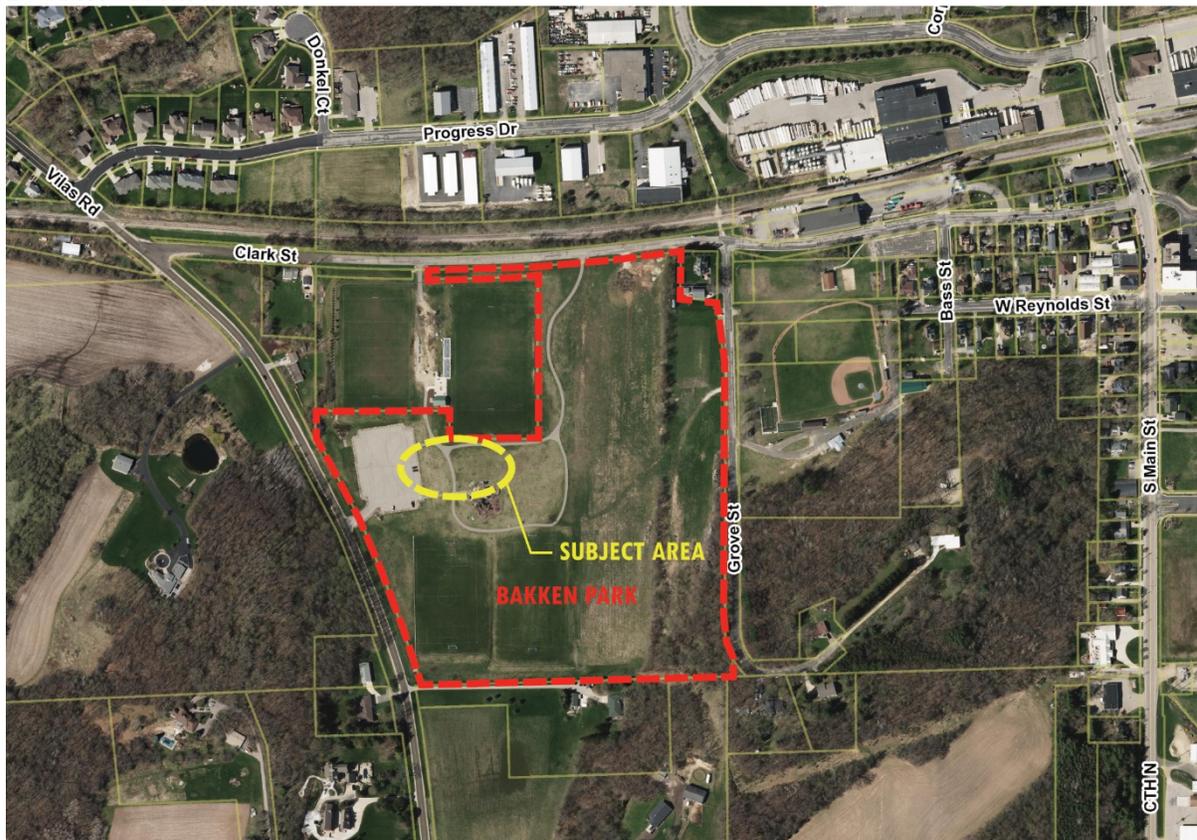
The Village of Cottage Grove's Department of Parks & Recreation is applying for a site plan amendment for Bakken Park to permit the construction of a new shelter, a splash pad, and associate improvements. The shelter features 1,150 sq. ft. of enclosed space and 1,900 sq. ft. of open area under the canopy.



The other improvements include bike racks, bike ‘fix-it’ equipment, ADA ramps from the existing parking lot, additional site lighting, and modifications to the path through the subject area.

Funding for the construction of the shelter and splash pad was included in the Village’s 2020 budget, with construction expected to begin in the spring.

LOCATION MAP



COMPREHENSIVE PLAN CONSISTENCY

The property is designated as Park and Open Space on the Future Land Use Map. The proposed site plan amendment is consistent with that designation. Furthermore, the proposed improvements are included in the current Park and Open Space Plan, amended in 2018.

ZONING ORDINANCE CONSISTENCY

The Bakken Park parcel is zoned Park and Open Space, as regulated by 325-42 of the zoning ordinance.



Per 325-42(2)(a), both active and passive outdoor public recreation are permitted by right within the district.

The proposed project meets all intensity and bulk requirements of the district.

STAFF RECOMMENDATIONS

Staff recommends that the proposed Site Plan be **APPROVED**.

**VILLAGE OF COTTAGE GROVE
REQUEST TO AMEND AN APPROVED SITE PLAN**

In accordance with Ordinance 325-112(F) "any and all variations between development and/or land use activity on the subject property and the approved site plan is a violation of this chapter. An approved site plan shall be revised and approved via the procedure of Section 325-112(B) and (C), so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications."

APPLICANT: Village of Cottage Grove

APPLICANT ADDRESS:

210 Progress Drive, Suite 2
Cottage Grove, WI 53527

TELEPHONE: (608) 839 - 8968

EMAIL ADDRESS: sbrusegar@village.cottage-grove.wi.us

PROJECT LOCATION: Phoebe Bakken Memorial Park
220 Grove St, Cottage Grove, WI 53527

PROPOSED SITE PLAN MODIFICATION IS:

Addition of a three-season restroom and shelter and a recirculating splash pad for the Village of Cottage Grove.

APPLICATION SUBMITTAL REQUIREMENTS:

1. Submittal requirements per 325-112(C), see following pages.
2. Fee of \$200.
3. Escrow deposit of \$500 for consultant review. If actual review fees are less, excess will be returned. If actual review fees exceed escrow amount, applicant will be billed for the excess

11/26/2019

Date



Applicant Signature
(MSA on behalf of the Village of Cottage Grove)

..... **For office use only:**

Date Received:
Planning Commission Meeting Date:
Village Board Meeting Date:

SUBMITTAL REQUIREMENTS PER 325-112(C):

Required items that are deemed to be not applicable to the proposed project may be waived by the Zoning Administrator. Detailed site analysis per 325-112(C)(8) may be required; verify with Village staff. Submittal materials may be submitted as pdf files via email in lieu of printed copies by arrangement with the Village Planning Director.

(1) Written description of the intended use describing in reasonable detail the:

(a) Existing zoning district(s) [and proposed zoning district(s) if different].

The proposed improvements and site are located on lands currently zoned parks and open space; this zoning designation is not expected to change.

(b) Land use plan map designation(s).

The proposed improvements and site are located on lands with land use designation parks and open space. Refer to Attachment A (an excerpt map from Village of Cottage Grove planning) for the land use map.

(c) Description of existing environmental features.

Existing uses coincide with the current zoning and land use designations; the site in general consists of areas of minimal to flat land gradients with grass playing fields, playground equipment areas, small outdoor pavilions, and associated access ways and parking for patrons. The site contains minimal trees, shrubs and other landscaping; there are no other significant environmental features. There are no wetlands, environmental corridors, open waterways, or other environmentally sensitive areas.

(d) Current land uses present on the subject property.

See description under item (c) above.

(e) Proposed land uses for the subject property.

The proposed uses will coincide with the current zoning and land use designations; the site will continue to consist of areas of minimal to flat land gradients with grass playing fields. The proposed improvements will include a splash pad and new building to serve as a restroom and shelter for the Village of Cottage Grove. The proposed building location is consistent with the Master Park Plan for this area.

(f) Projected number of residents, employees and daily customers.

There will be no residents or no full-time employees. The shelter will be open to the public and designed to accommodate public events and reservations for group up to 100. The splash pad is design to accommodate 70-100 children.

(g) Proposed amount of dwelling units, floor area, impervious surface area and landscape surface area and resulting site density, floor area ratio, impervious surface area ratio and landscape surface area ratio.

There will be no dwelling units within the proposed restroom and shelter building. The building will be one story above grade.

(h) Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings and traffic generation.

The shelter and splash pad will be open during regular park hours as outlined in Chapter 230-3 unless otherwise approved by the Park, Recreation and Forestry Committee or Village Board.

**Floor Area is: 3,050 SF
(1,150 SF Enclosed Restrooms, Mechanical and Storage)
(1,900 SF Open Shelter)**

**The property owned by the Village of Cottage Grove is:
Parcel # 112/0711-162-9025-1**

*LOT 1 CSM 12707 CS80/131-133 06-15-09 DESCR AS SEC 16-07-11
PRT OF NW1/4 NW1/4 & PRT SW1/4 NW1/4*

Parcel area is 28.556 acres (1,243,899.36 SF).

The proposed physical improvements and associated areas and ratios are defined as follows:

Floor Area Ratio: 0.0024 =
(3,050 sf / 1,243,899.36 sf)

Impervious Surface Area Ratio: 0.072 =
(74,000 sf existing + 12,300 sf proposed + 3,050 sf floor area = 89,550 sf / 1,243,899.36 sf)

Landscape Surface Ratio: 0.0044 =
(4,500 sf existing + 1000 sf proposed = 5,500 sf / 1,243,899.36 sf)

Site Density Ratio: 0.076 =
(3,050 sf + 86,500 sf + 5,500 sf = 95,050 sf / 1,243,899.36 sf)

Utilities

(i) Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VI, including street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage and hazardous materials. If no such nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VI), then the statement "The proposed development shall comply with all requirements of Article VI" shall be provided.

The proposed development shall comply with all requirements of Article VI; no nuisance conditions will be created by the proposed clubhouse and related site improvements. Minimal site lighting (building wall packs and single 20' pole light) will be provided for security purposes and will meet requirements for lighting due to distance from property line (~ 250 FT).

(j) Exterior building and fencing materials.

The exterior of the proposed restroom and shelter building will be masonry. Refer to Attachment F for the brick and block examples respectively. Fencing would be designed to match the existing playground barrier, consisting of recycled plastic lumber rails and pickets. Fencing is included in the project as an additive alternate.

(k) Possible future expansion and related implications for § 325-112C(1)(a) through (j) above.

There is no future expansion intended for the restroom and shelter building or splash pad. See Master Plan, Attachment B, for future park improvements.

(l) Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.

The purpose of the existing park and playing fields is to promote recreation and outdoor activities by making available such facilities; the park provides for an improved quality of life for all that make use of these facilities. The proposed restroom, shelter and splash pad will be important to the continued promotion of the park, and be conducive to the continuing improvement of the park.

(2) A small location map scalable at 11 inches by 17 inches showing the subject property, all properties within 300 feet and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the Village's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)

Refer to Attachment C for property site plan drawing.

(3) A property site plan drawing (and reduction scalable at 11 inches by 17 inches) which includes:

(a) A title block which indicates the name, address and phone number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for the project.

(b) The date of the original plan and the latest date of revision to the plan.

(c) A North arrow and a graphic scale. Said scale shall not be smaller than one inch equals 100 feet.

(d) A legal description of the subject property.

(e) All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.

(f) All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.

- (g) All required building setback lines.
- (h) All existing and proposed buildings, structures and paved areas, including building entrances, walks, drives, decks, patios, fences, walls and utility and drainage systems, connections and fixtures.
- (i) The location and dimension (cross section and entry throat) of all access points onto public streets.
- (j) The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by this chapter.
- (k) The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas.

There is no new loading or service area proposed for the site or proposed building.

- (l) The location of all outdoor storage areas and the design of all screening devices.

There is no new outdoor storage proposed for the site or proposed building.

- (m) The location, type, height, size and lighting of all signage on the subject property.

There is no new signage proposed for the site or proposed building.

- (n) The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property, including the clear demonstration of compliance with a limit of 1.0 footcandles at nonresidential property lines and 0.5 footcandles at residential property lines.
- (o) The location and type of any permanently protected green space areas.
- (p) The location of existing and proposed drainage facilities.
- (q) In the legend, data for the subject property:

- [1] Lot area;
- [2] Floor area;
- [3] Floor area ratio (b/a);
- [4] Impervious surface area;
- [5] Impervious surface ratio (d/a); and
- [6] Building height.

- (4) A detailed landscaping plan of the subject property, at the same scale as the main plan (and reduction scalable at 11 inches by 17 inches), showing the location of all required bufferyard and landscaping areas and existing and proposed landscape point

fencing and berm options for meeting said requirements. The landscaping plan shall demonstrate complete compliance with the requirements of Village landscaping requirements. (NOTE: the individual plant locations and species, fencing types and heights and berm heights need to be provided.)

Refer to Attachment C for site plan by MSA Professional Services, 11/26/2019.

(5) A grading and erosion control plan at the same scale as the main plan (and reduction scalable at 11 inches by 17 inches) showing existing and proposed grades, including retention walls and related devices, and erosion control measures per Wisconsin Administrative Code, COMM Chapter 21, Uniform Dwelling Code, and Chapter 65, Commercial Construction.

Refer to Attachments D and E for grading and erosion control plan by MSA Professional Services, 11/26/2019.

(6) Elevation drawings of proposed buildings or proposed remodeling of existing buildings showing finished exterior treatment shall also be submitted, with adequate labels provided to clearly depict exterior materials, texture, color and overall appearance. Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

Refer to Attachment F proposed building exterior elevations.

(7) A certified survey may be required by the Zoning Administrator in instances where he determines compliance with setback requirements may be difficult. The survey shall be prepared by a registered land surveyor and shall depict property lines and proposed buildings, structures and paved areas.

Refer to Attachment I for property CSM.

Attachment A – Land-use Map

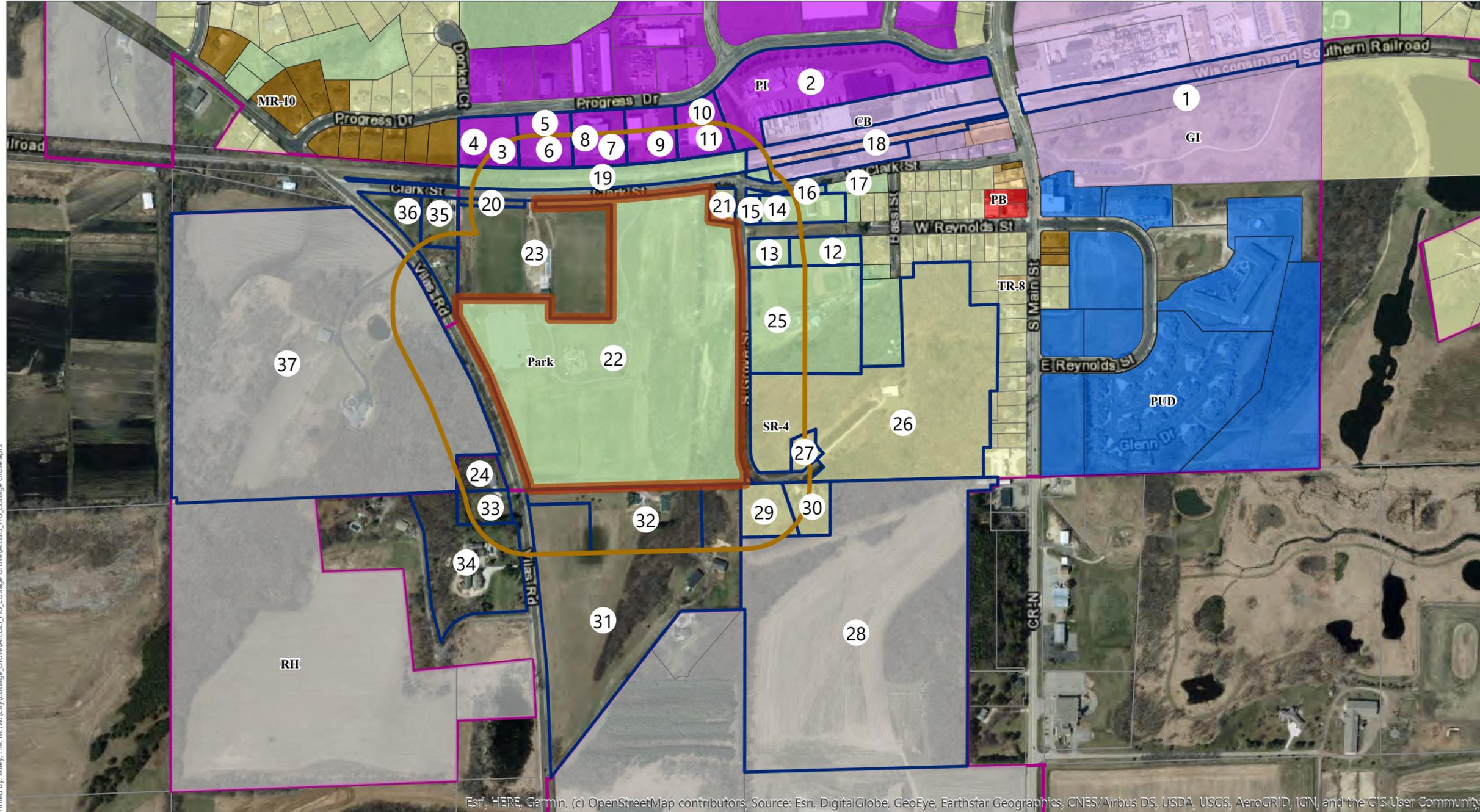
Map Number	Parcel Number	Owner	PropertyAddress	Billing Street Address	Billing City State Zip
1	071116182001	WI DOT		2101 WRIGHT ST	MADISON WI 53704
2	071116206879	HYDRITE CHEMICAL CO		PO BOX 59365	SCHAUMBURG IL 60159-0365
3	071116222093	Current Owner	401 PROGRESS DR	475 PROGRESS DR	COTTAGE GROVE WI 53527
4	071116222093	Current Owner	429 PROGRESS DR	475 PROGRESS DR	COTTAGE GROVE WI 53527
5	071116222315	Current Owner	375 PROGRESS DR	375 PROGRESS DR	COTTAGE GROVE WI 53527
6	071116222315	Current Owner	379 PROGRESS DR	375 PROGRESS DR	COTTAGE GROVE WI 53527
7	071116222539	STEVE B WOHLERS	351 PROGRESS DR	202 MARIA LN	COTTAGE GROVE WI 53527
8	071116222539	STEVE B WOHLERS	373 PROGRESS DR	202 MARIA LN	COTTAGE GROVE WI 53527
9	071116222753	J & M USELMAN LLC	321 PROGRESS DR	PO BOX 247	COTTAGE GROVE WI 53527
10	071116222977	301 PROGRESS LLC	301 PROGRESS DR	301 PROGRESS DR	COTTAGE GROVE WI 53527
11	071116222977	301 PROGRESS LLC	323 PROGRESS DR	301 PROGRESS DR	COTTAGE GROVE WI 53527
12	071116262335	COTTAGE GROVE, VILLAGE OF		221 E COTTAGE GROVE RD	COTTAGE GROVE WI 53527
13	071116263889	COTTAGE GROVE, VILLAGE OF		221 E COTTAGE GROVE RD	COTTAGE GROVE WI 53527
14	071116264342	COTTAGE GROVE, VILLAGE OF		221 E COTTAGE GROVE RD	COTTAGE GROVE WI 53527
15	071116265001	COTTAGE GROVE, VILLAGE OF		221 E COTTAGE GROVE RD	COTTAGE GROVE WI 53527
16	071116282206	COTTAGE GROVE, VILLAGE OF		221 E COTTAGE GROVE RD	COTTAGE GROVE WI 53527
17	071116282457	LANDMARK SERVICES COOPERATIVE	241 CLARK ST	PO BOX 277	COTTAGE GROVE WI 53527
18	071116282561	LANDMARK SERVICES COOPERATIVE		PO BOX 277	COTTAGE GROVE WI 53527
19	071116287431	WI DOT		2101 WRIGHT ST	MADISON WI 53704

Map Number	Parcel Number	Owner	PropertyAddress	Billing Street Address	Billing City State Zip
20	071116288501	COTTAGE GROVE, VILLAGE OF		4058 COUNTY HIGHWAY N	COTTAGE GROVE WI 53527
21	071116290019	CHRISTIAN M NELSON	203 GROVE ST	203 GROVE ST	COTTAGE GROVE WI 53527
22	071116290251	COTTAGE GROVE, VILLAGE OF		4058 COUNTY HIGHWAY N	COTTAGE GROVE WI 53527
23	071116290351	WRC SPORTS COMPLEX INC	4064 VILAS RD	PO BOX 45598	MADISON WI 53744-5598
24	071116292400	RICHARD J BOLLIG		4089 VILAS RD	COTTAGE GROVE WI 53527
25	071116296504	COTTAGE GROVE, VILLAGE OF		221 E COTTAGE GROVE RD	COTTAGE GROVE WI 53527
26	071116297221	HOLMES TR, TERRY & KATHLEEN	377 GROVE ST	377 GROVE ST	COTTAGE GROVE WI 53527
27	071116297761	LISA M HATTON	362 GROVE ST	362 GROVE ST	COTTAGE GROVE WI 53527
28	071116380211	LANDMARK SERVICES COOPERATIVE	203 W COTTAGE GROVE RD	PO BOX 277	COTTAGE GROVE WI 53527
29	071116381111	LAWRENCE D COOPER	357 GROVE ST	357 GROVE ST	COTTAGE GROVE WI 53527
30	071116381211	Current Owner	365 GROVE ST	365 GROVE ST	COTTAGE GROVE WI 53527
31	071116385015	EDWARD R ZABEL	4030 VILAS RD	4030 VILAS RD	COTTAGE GROVE WI 53527
32	071116385506	Current Owner	4090 VILAS RD	4090 VILAS RD	COTTAGE GROVE WI 53527
33	071116386103	RICHARD J BOLLIG	4089 VILAS RD	4089 VILAS RD	COTTAGE GROVE WI 53527
34	071116386505	TERRY VIAL	4075 VILAS RD	4075 VILAS RD	COTTAGE GROVE WI 53527
35	071117195004	JEFFREY R EVENSEN	2643 CLARK ST	2643 CLARK ST	COTTAGE GROVE WI 53527
36	071117195200	Current Owner	4136 VILAS RD	4136 VILAS RD	COTTAGE GROVE WI 53527
37	071117196021	WIDEN REV TR, REED C & LEANNE M	4141 VILAS RD	4141 VILAS RD	COTTAGE GROVE WI 53527

Phoebe Bakken Park

Parcels within 300'

Village of Cottage Grove, Dane County, Wisconsin



- Phoebe Bakken Park Boundary
- 300' Buffer of Bakken Park
- Parcels within 300' of Bakken Park
- SR-4 Single-Family Residential District
- TR-8 Two Family Residential District
- MR-12 Multi-Family Residential District
- MR-10 Multi-Family Residential District
- HR-9 Historical Residential District
- CB Central Business District
- NB Neighborhood Business District
- PB Planned Business District
- NO Neighborhood Office District
- PO Planned Office District
- GI General Industrial District
- PI Planned Industrial District
- RH Rural Holding District
- PUD Planned Unit Development
- Park
- Village Boundary

Data Sources:
Village of Cottage Grove
Dane County, WI
Esri



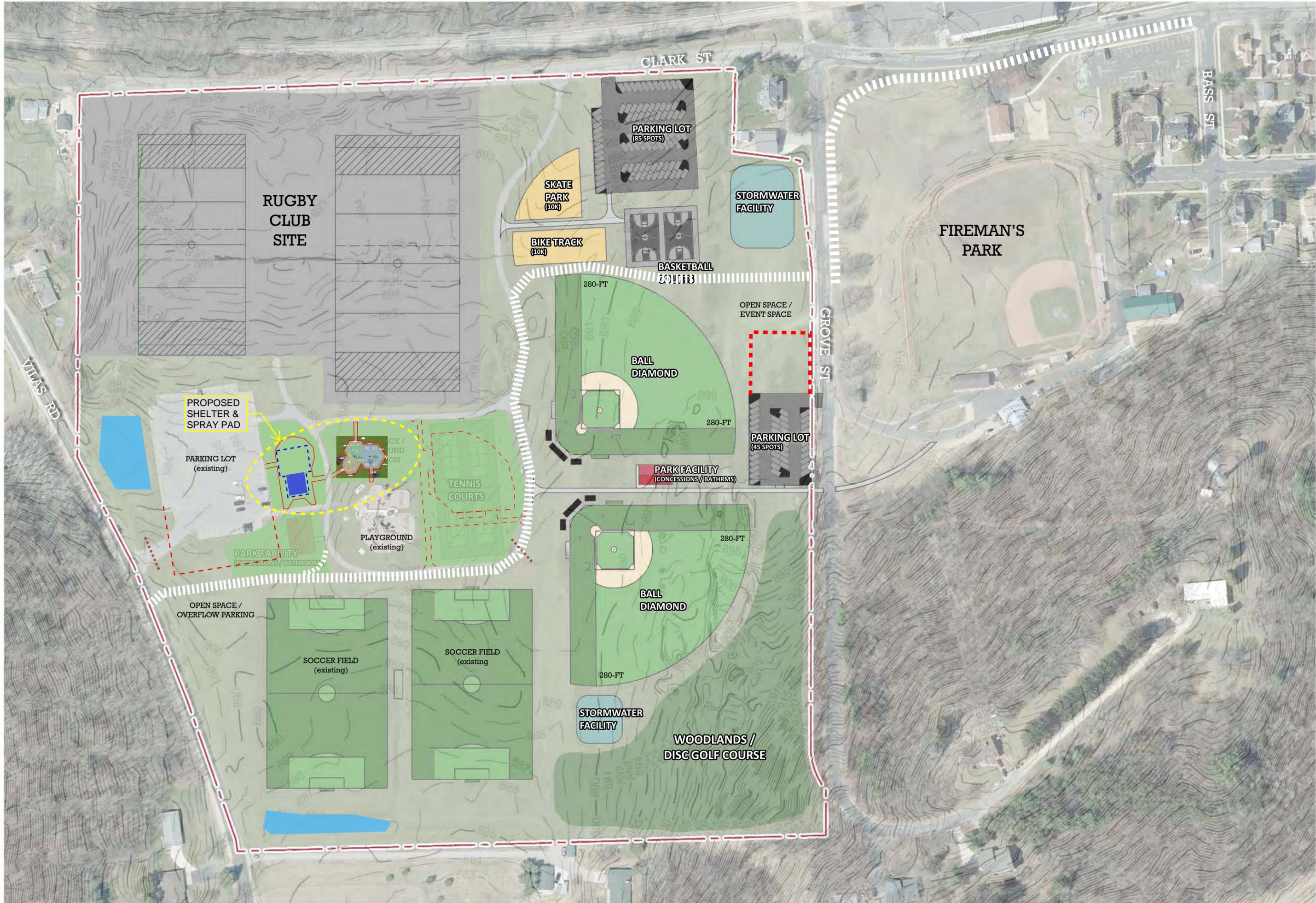
Attachment B – Existing Master Plan



BAKKEN PARK CONCEPT PLAN

DIAGRAMATIC
PROPOSED DESIGN
01/21/19

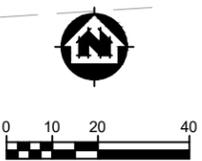
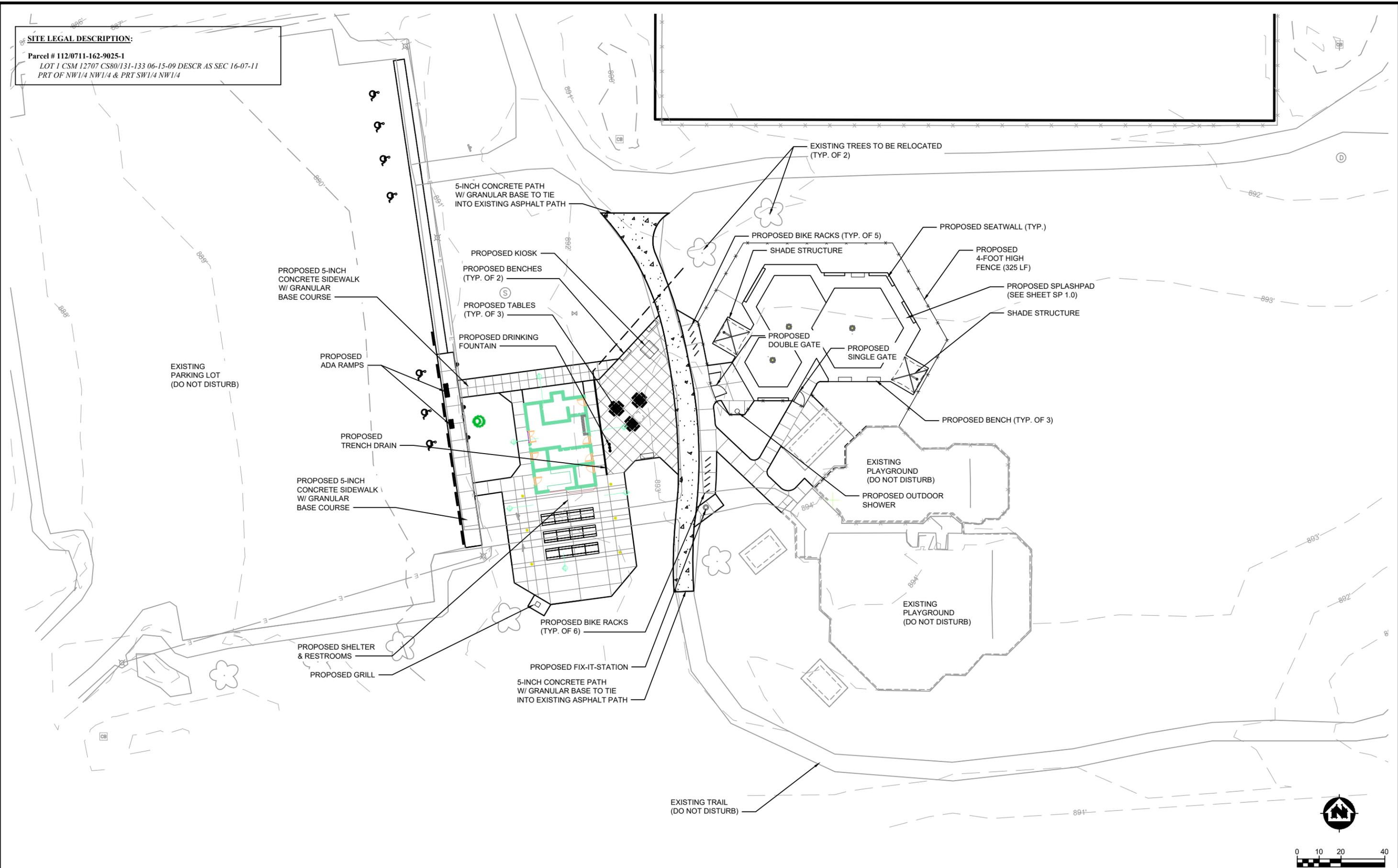
Date: 04/28/15
Project: 940801 (SMT)



Attachment C – Site Plan

SITE LEGAL DESCRIPTION:

Parcel # 112/0711-162-9025-1
 LOT 1 CSM 12707 CS80/131-133 06-15-09 DESCR AS SEC 16-07-11
 PRT OF NW1/4 NW1/4 & PRT SW1/4 NW1/4



PROJECT NO.	SCALE	AS SHOWN	NO.	DATE	REVISION	BY
00094041						
PROJECT DATE:	DRAWN BY:	INIT				
	DESIGNED BY:	INIT				
	CHECKED BY:	INIT				

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PHOEBE BAKKEN MEMORIAL PARK IMPROVEMENTS
 VILLAGE OF COTTAGE GROVE
 COTTAGE GROVE, WI

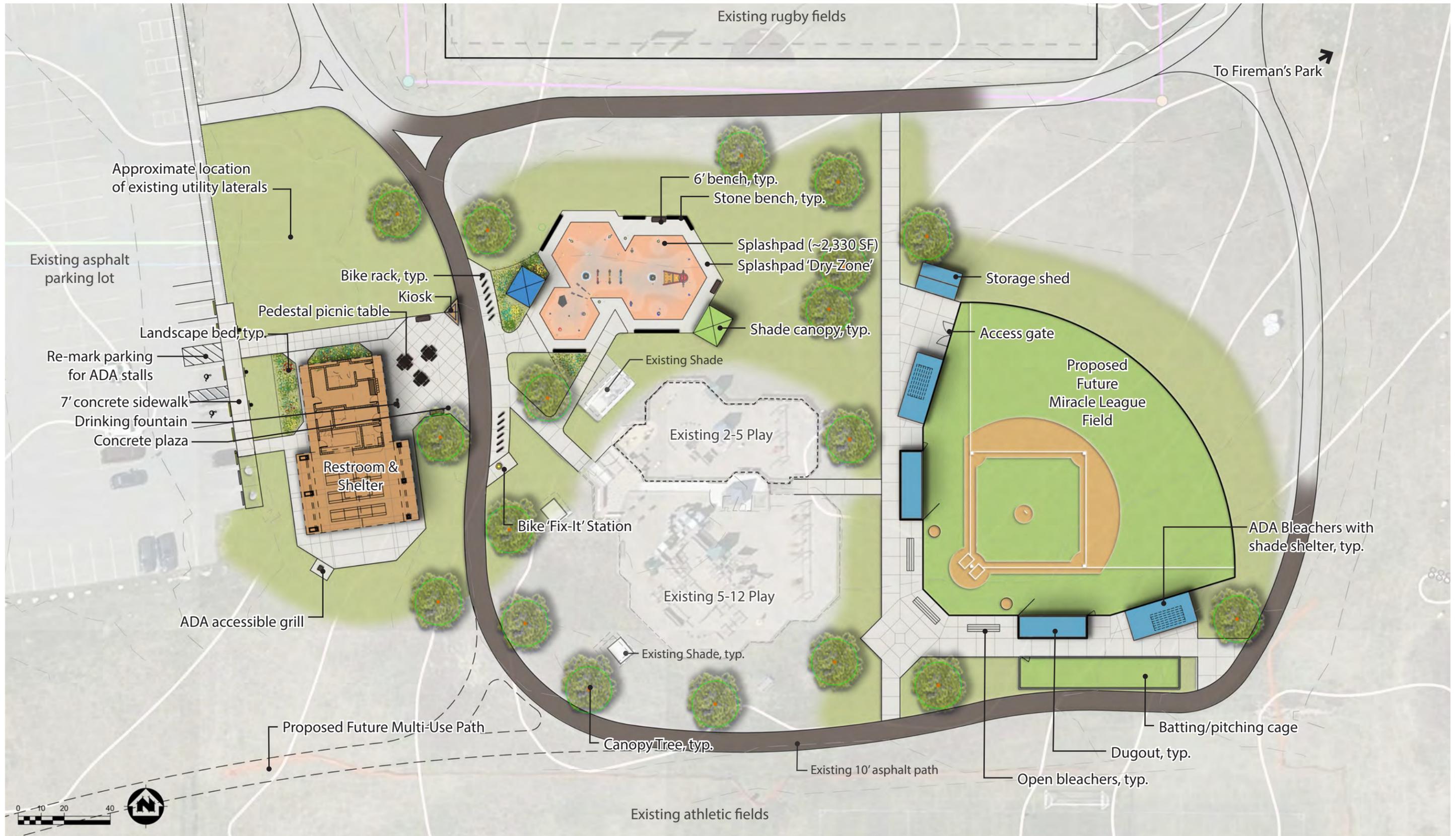
SITE PLAN

PROJECT NO.
00094041
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C1.7

PHOEBE BAKKEN MEMORIAL PARK

Preliminary Site Plan - Splash Pad and Shelter

Village of Cottage Grove
July 17, 2019





Attachment D – Grading Plan

Attachment E – Erosion Control Plan

Attachment F – Architectural Plans



PROJECT DATE:	7/9/2019	DRAWN BY:	JFB	No	DATE	REVISIONS	BY
		DESIGNED BY:	ECA				
		CHECKED BY:	ECA				
<p>PRELIMINARY</p>							



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VILLAGE OF COTTAGE GROVE
 2020 BAKKEN PARK IMPROVEMENT
 COTTAGE GROVE, WI

PERSPECTIVES

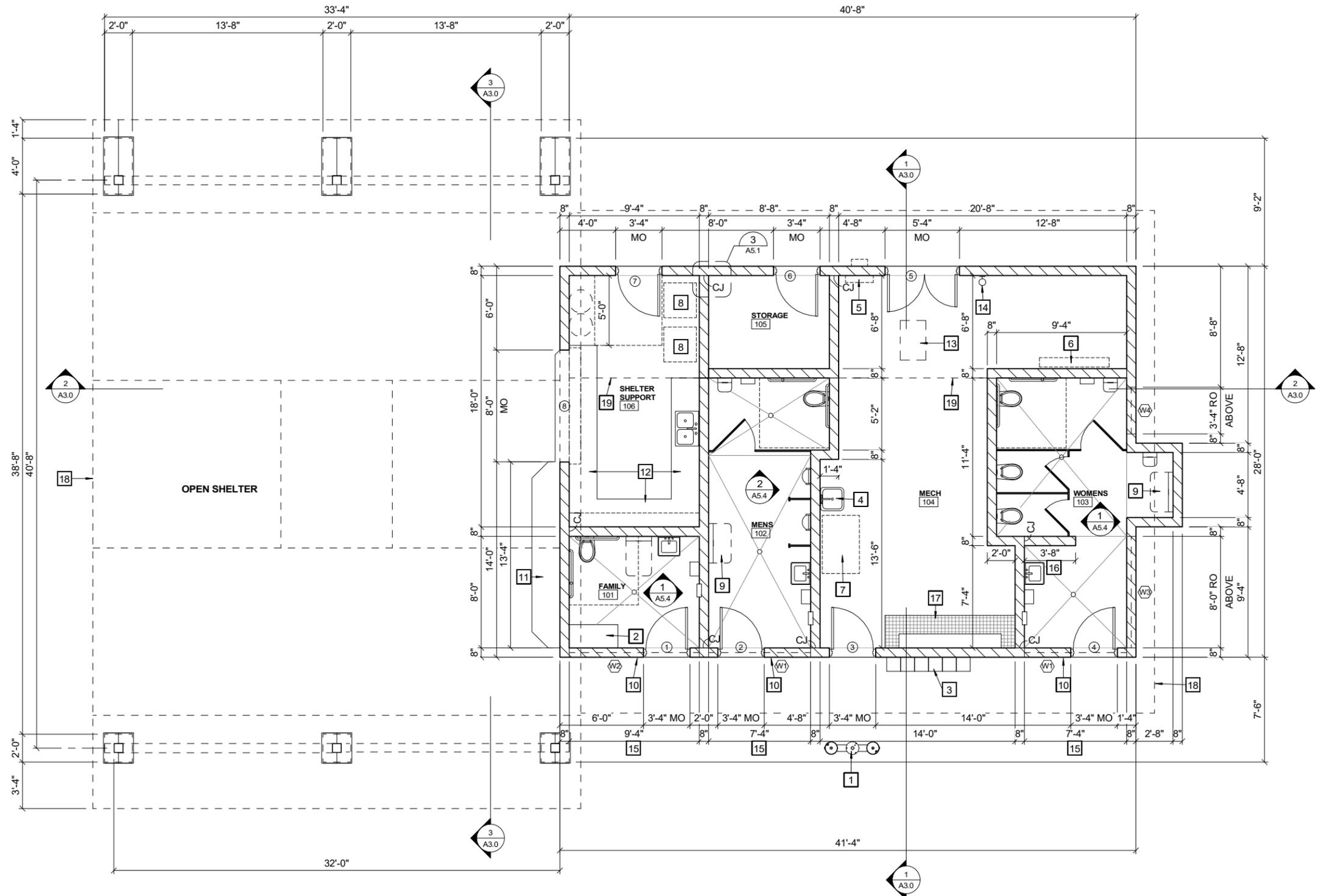
PROJECT NO.
00094041
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GENERAL PLAN NOTES:

- A. ALL DIMENSIONING IS TO FACE OF STUD, FRAMING OR CONCRETE.
- B. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- C. THE CONTRACT DOCUMENTS CONSIST OF THE SPECIFICATION MANUAL AND DRAWINGS WHICH ARE INTENDED TO BE COMPLEMENTARY AND TO BE USED IN CONJUNCTION WITH ONE ANOTHER.
- D. IF DISCREPANCIES OCCUR BETWEEN THE SPECIFICATION MANUAL AND THE DRAWINGS, NOTIFY THE ARCHITECT FOR A RESOLUTION.
- E. OPENINGS FOR PLUMBING, VENTILATING, AND ELECTRICAL WORK IN WALLS, FLOORS, CEILING, AND ROOF SHALL BE PROVIDED BY THE GC LOCATION AND SIZE SHALL BE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTORS.
- F. SLOPE FLOOR SLABS TO FLOOR DRAINS. SEE FOUNDATION PLAN AND COORDINATE WITH PLUMBING DRAWINGS. (MAX FLOOR SLOPE 1/4" PER FT).
- G. CONTRACTOR TO COORDINATE STRUCTURAL, ARCHITECTURAL, HVAC, AND PLUMBING PLANS FOR DETAILS, DIMENSIONS, ELEVATIONS, OPENINGS, INSERTS, ETC. NOTIFY ARCHITECT OF ANY VARIANCE BEFORE COMMENCING CONSTRUCTION.
- H. IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY THE ENGINEER.
- I. GENERAL CONTRACTOR SHALL PROVIDE ALL INTEGRAL CONCRETE EQUIPMENT PADS INDICATED ON THE PLUMBING, HVAC AND ELECTRICAL DRAWINGS INSIDE THE BUILDING.

KEYNOTES

- 1 FREE STANDING HIGH-LOW DRINKING FOUNTAIN WITH CENTRAL BOTTLE FILLER. SEE SITE PLAN FOR EXACT LOCATION AND PLUMBING DRAWINGS.
- 2 ACCESSIBLE 20"x42" CHANGING BENCH - SEE DETAIL 8/A5.4
- 3 LOCKERS ON 8" HIGH x8" DEEP CONCRETE CURB.
- 4 LAUNDRY TUB- SEE PLUMBING
- 5 ELECTRICAL SERVICE - SEE ELECTRICAL
- 6 WATER SERVICE - SEE PLUMBING
- 7 AREA FOR IRRIGATION EQUIPMENT - SEE PLUMBING
- 8 REFRIDGERATOR BY OWNER (NIC)
- 9 BABY CHANGING STATION
- 10 ROOM SIGNAGE - SEE DETAIL 5/A5.1
- 11 EXTERIOR COUNTER - SEE DETAIL 7/A5.1
- 12 SOLID SURFACE COUNTERTOP - SEE DETIAL 8/A5.1
- 13 ATTIC ACCESS HATCH - SEE DETAIL 6/A5.1
- 14 FIRE EXTINGUISHER w/ WALL BRACKET
- 15 DIMENSION IS ALSO THE ROUGH WINDOW OPENING ABOVE
- 16 HALF-HIGH WALL - SEE DETAIL 2/A5.1
- 17 GRATING w/ SUPPORT OVER PIT
- 18 ROOF LINE ABOVE; TYPICAL
- 19 ROOF/CEILING HEIGHT TRANSITION ABOVE



FLOOR PLAN

0 2 4 8
 1/4" = 1'-0" (22x24)
 1/8" = 1'-0" (11x17)

PROJECT DATE:	7/9/2019	DRAWN BY:	JFB	No	DATE	REVISIONS	BY
DESIGNED BY:	ECA	PRELIMINARY					
CHECKED BY:	ECA						
PLOT DATE: 11/26/2019 9:42:19 AM, \\msa-ps.com\fs\Project\0010094\00094041\CADD\Construction Documents\BIM\00094041 - CG BAKKEN SHELTER CENTRAL_JFB(Recovery).rvt							

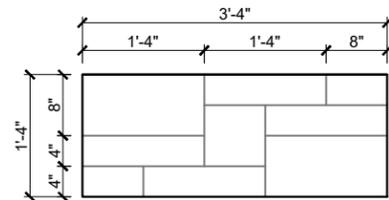


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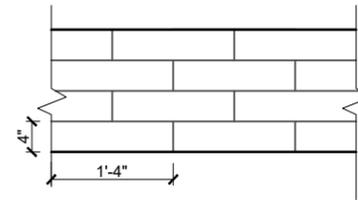
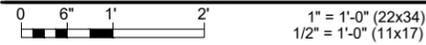
VILLAGE OF COTTAGE GROVE
 2020 BAKKEN PARK IMPROVEMENT
 COTTAGE GROVE, WI

FLOOR PLAN

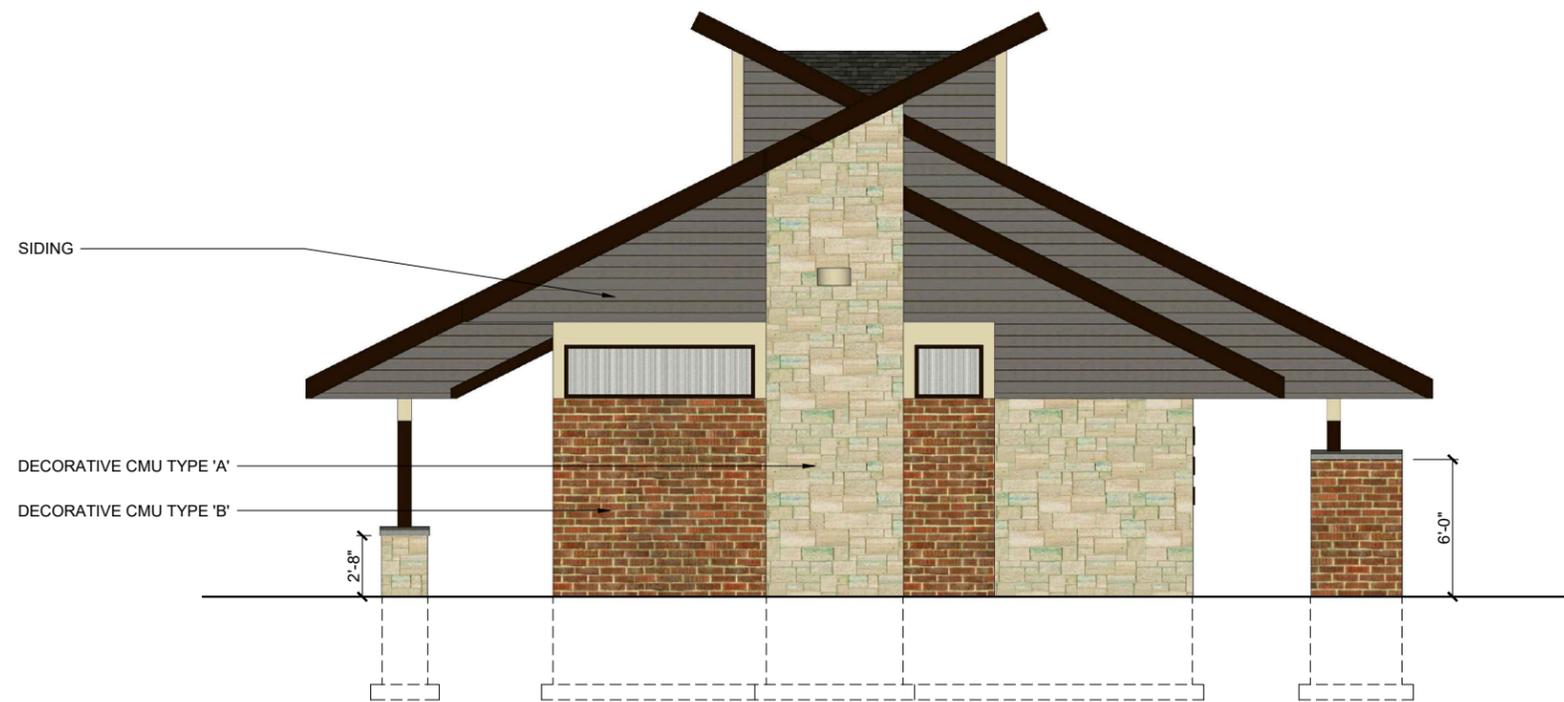
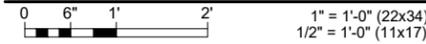
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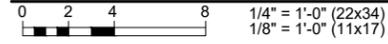
DECORATIVE CMU - TYPE 'A' PATTERN



DECORATIVE CMU - TYPE 'B' PATTERN



NORTH EXTERIOR ELEVATION



EAST EXTERIOR ELEVATION

PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY
	JFB				
	ECA				
	Init				

PLOT DATE: Tuesday, November 26, 2019 9:34:08 AM, \\msa-ps.com\fs1\project\00\00094\00094041\CADD\Construction Documents\00094041 - A2.0 EXTERIOR ELEVATIONS 2.dwg

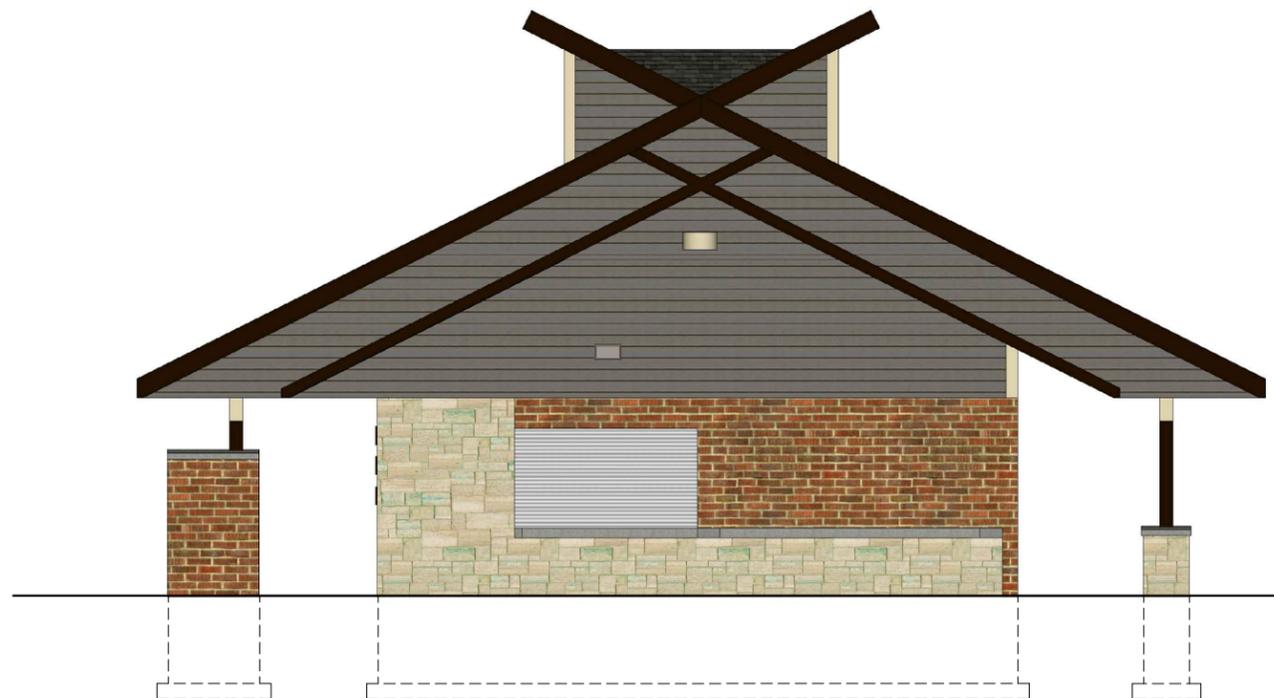


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PHOEBE BAKKEN MEMORIAL PARK IMPROVEMENTS
 VILLAGE OF COTTAGE GROVE
 COTTAGE GROVE, WI

EXTERIOR ELEVATIONS

PROJECT NO.
00094041
 SHEET
A2.0



SOUTH EXTERIOR ELEVATION

0 2 4 8 1/4" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)



WEST EXTERIOR ELEVATION

0 2 4 8 1/4" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)

PROJECT DATE:	DRAWN BY:	NO.	DATE	REVISION	BY
	JFB				
	ECA				
	Init				

PLOT DATE: Tuesday, November 26, 2019 9:34:10 AM, \\msa-ps.com\fs\project\00\00094\00094041\CADD\Construction Documents\00094041 - A2.1 EXTERIOR ELEVATIONS 2.dwg



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PHOEBE BAKKEN MEMORIAL PARK IMPROVEMENTS
 VILLAGE OF COTTAGE GROVE
 COTTAGE GROVE, WI

EXTERIOR ELEVATIONS

PROJECT NO.
 00094041
 SHEET
 A2.1

DRAFT FINISH SELECTION LIST

PHOEBE BAKKEN PARK BUILDING



Village of Cottage Grove
MSA Project Number #00094041
November 26, 2019

Notes:

1. Tentative selections pending Village approval.

COLOR SELECTIONS

Aluminum Windows:

Dark Bronze Anodized

Metal Shingles (Decra):

Old Hickory



Sheet Metal:

Fascia Cover/Drip Edge:

Dark Bronze

Masonry:

Decorative CMU Type A:



Material (CountyStone):

Cream 63-080C (in varied sizes)

Mortar:

Matching

Net Weep Vents:

Cream

Decorative CMU Type B:



Material:

Autumn Blend - smooth (Heritage)

Mortar:

Matching

Net Weep Vents:

Brown

Cast Stone Caps:

cream

Exterior HVAC Louvers:

Drinking Fountains:

Site Rinse Shower:

Wall; similar match to siding

Soffit; similar match to soffit

Textured Pyrite (brown)

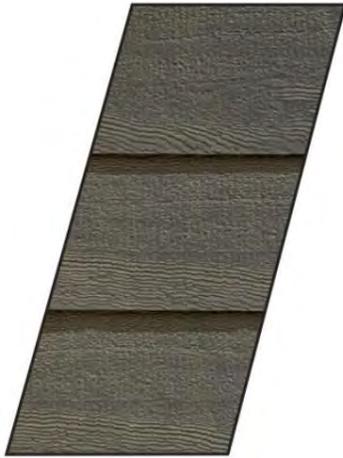
Textured Pyrite (brown)

Siding materials (LP Smartside):

Lap Siding-
Bedrock

Trim & Soffit-
Sand

Accent Trim-
Grizzly



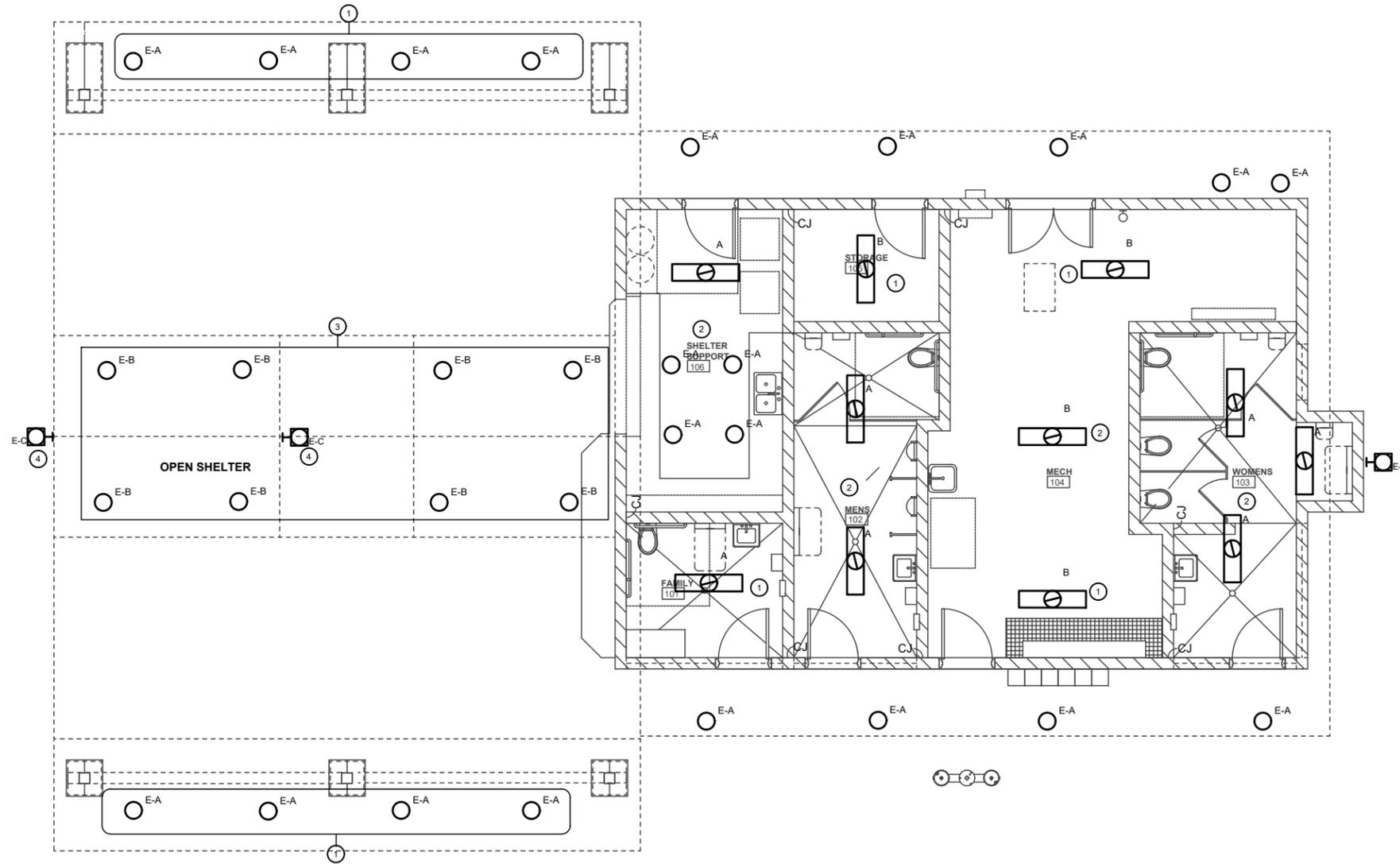
Attachment G – Lighting Design

GENERAL PLAN NOTES:

- A. EC SHALL COORDINATE WITH OTHER TRADES IN THE FIELD.
- B. EC SHALL PROVIDE ALL OPTIONS AND ACCESSORIES NEEDED TO PROVIDE A FULLY FUNCTIONAL AND TESTED LIGHTING SYSTEM.

KEYNOTES #

- 1 LIGHT FIXTURE IS MOUNTED AT 8'-8".
- 2 LIGHT FIXTURE IS MOUNTED AT 12'.
- 3 LIGHT FIXTURE IS MOUNTED AT 15'.
- 4 LIGHT FIXTURE IS MOUNTED AT 15'-6".



1 LIGHTING FLOOR PLAN
 SCALE: 0 2 4 8 1/4" = 1'-0" (22x34)
 1/8" = 1'-0" (11x17)



1033 N. Mayfair Rd, Suite 200, Milwaukee, WI 53226
 ph. 414-607-6762 Job# 2020xxxx

PROJECT DATE	DRAWN BY:	NO.	DATE	REVISION	BY
	KRH				
	KRH				
	ATW				

PRELIMINARY



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VILLAGE OF COTTAGE GROVE
2020 BAKKEN PARK IMPROVEMENT
COTTAGE GROVE, WI

LIGHTING FLOOR PLAN

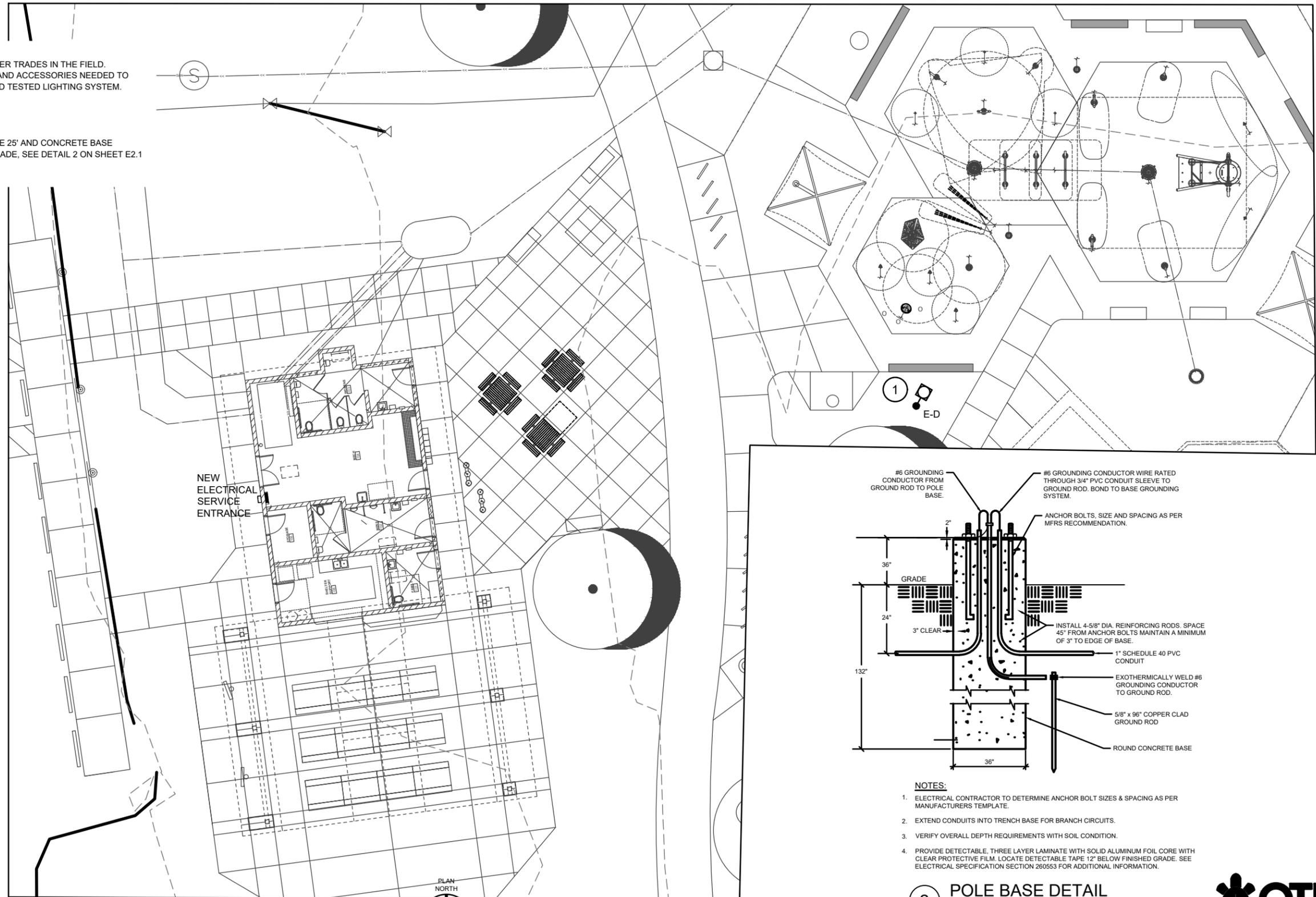
PROJECT NO.
00094041
 SHEET
E2.0

GENERAL PLAN NOTES:

- A. EC SHALL COORDINATE WITH OTHER TRADES IN THE FIELD.
- B. EC SHALL PROVIDE ALL OPTIONS AND ACCESSORIES NEEDED TO PROVIDE A FULLY FUNCTIONAL AND TESTED LIGHTING SYSTEM.

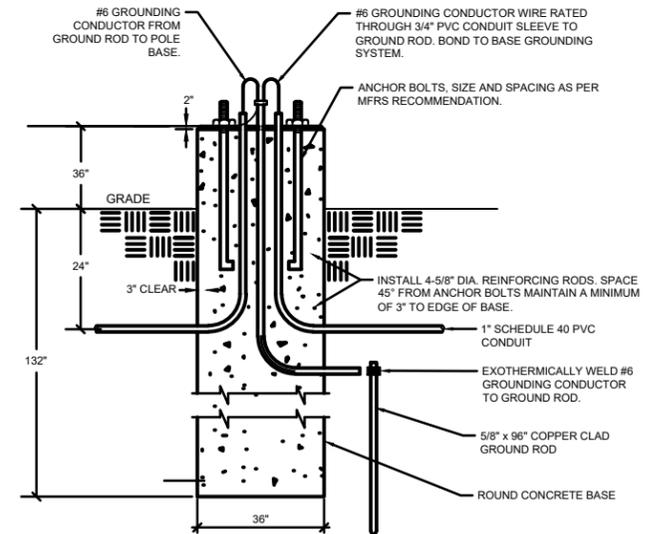
KEYNOTES #

- 1. FIXTURE TO BE MOUNTED ON POLE 25' AND CONCRETE BASE EXTENDING 3' ABOVE FINISHED GRADE, SEE DETAIL 2 ON SHEET E2.1 FOR ADDITIONAL DETAILS.



1 ELECTRICAL SITE PLAN

SCALE: 0 4 8 16 1/8" = 1'-0" (22x34)
1/16" = 1'-0" (11x17)



2 POLE BASE DETAIL

SCALE: NTS

- NOTES:**
1. ELECTRICAL CONTRACTOR TO DETERMINE ANCHOR BOLT SIZES & SPACING AS PER MANUFACTURERS TEMPLATE.
 2. EXTEND CONDUITS INTO TRENCH BASE FOR BRANCH CIRCUITS.
 3. VERIFY OVERALL DEPTH REQUIREMENTS WITH SOIL CONDITION.
 4. PROVIDE DETECTABLE, THREE LAYER LAMINATE WITH SOLID ALUMINUM FOIL CORE WITH CLEAR PROTECTIVE FILM. LOCATE DETECTABLE TAPE 12" BELOW FINISHED GRADE. SEE ELECTRICAL SPECIFICATION SECTION 260553 FOR ADDITIONAL INFORMATION.



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ph. 414-607-6762 Job# 2020xxx

PROJECT DATE	DRAWN BY	NO.	DATE	REVISION	BY
	KRH				
	KRH				
	ATW				

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VILLAGE OF COTTAGE GROVE
2020 BAKKEN PARK IMPROVEMENT
COTTAGE GROVE, WI

ELECTRICAL SITE PLAN

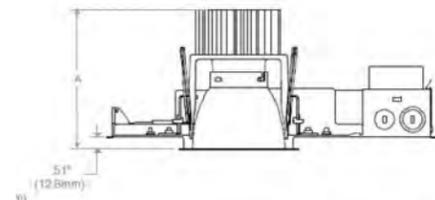
PROJECT NO:
00094041
SHEET
E2.1

EXTERIOR LIGHTING FIXTURE SCHEDULE

PLAN ID	DESCRIPTION	VOLTAGE	GENERAL FIXTURE CHARACTERISTICS			MOUNTING				LAMP INFORMATION			FIXTURE INPUT			MANUFACTURER INFORMATION			NOTES	
			FINISH	FEATURE	SPECIAL	TYPE	LOC	HEIGHT	BASE	POLE TYPE	SPECIAL	#/FIX	TYPE	WATT	INPUT WATTS	INPUT VA	PF	BASE MANUFACTURER		CATALOG NUMBER
E-A	LOW DOWNLIGHT	120V		WET LOC.		RECESSED						1	LED 4000K	12	12	13.33333333	0.90	HUBBELL	LTR-4RD-H-SL10L-DM1-LTR-4RD-T-SL40K8MDS	
E-B	HIGH DOWNLIGHT	120V		WET LOC.		RECESSED						1	LED 4000K	35	35	38.88888889	0.90	HUBBELL	LTR-4RD-H-ML30L-DM1-LTR-4RD-T-ML40K8WDS	
E-C	HALF MOON	120V				WALL						1	LED 4000K	52	52	57.77777778	0.90	DURAGUARD	HMWP-UOQF1X48U4KZ	
E-D	AREA	120V				POLE	POLE	25'				1	LED 4000K	140	140	155.5555556	0.90	KIM LIGHTING	UP20-56L-140-4K7-5W-UNW	

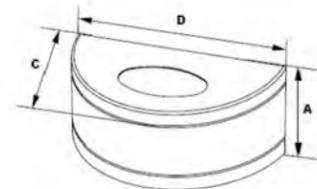
INTERIOR LIGHTING FIXTURE SCHEDULE

PLAN ID	DESCRIPTION	VOLTAGE	GENERAL FIXTURE CHARACTERISTICS			MOUNTING			LAMP INFORMATION			FIXTURE INPUT			MANUFACTURER INFORMATION			NOTES
			FINISH	FEATURE	SPECIAL	TYPE	LOC	HEIGHT	#/FIX	TYPE	°K	WATT.	INPUT WATTS	INPUT VA	PF	BASE MANUFACTURER	CATALOG NUMBER	
A	VANDAL RESISTANT	120V		VANDAL RESIST. WET LOC.		SURFACE		VARIABLE	1	LED	4000K	18	18.00	20.00	0.9	HUBBELL	LXEN4-4000KW-RFA-EDU	
B	STRIP FIXTURE	120V				SURFACE		VARIABLE	1	LED	4000K	40.2	40.20	44.67	0.9	COLUMBIA LIGHTING	CSL4-4040	



Dimensional Data		Lumen Package	"W"
Aperture:	4.00" (101.6mm)	D6L-15L	4.97" (126.2mm)
Flange:	Standard 5.25" (133.4mm)	20L-30L	6.10" (155.2mm)
	Flush Mount 4.50" (114.3mm)	35L-40L	7.33" (186.2mm)
Ceiling Cutout:	Standard 5.00" (127.0mm)		
	Flush Mount 5.12" (130.0mm)		
Ceiling Thickness:	0.50" to 2.00" (12.7mm to 50.8mm)		

FIXTURES E-A AND E-B



FIXTURE E-C



FIXTURE E-D



1033 N. Mayfair Rd, Suite 200, Milwaukee, WI 53226
ph. 414-607-6762 Job# 2020xxx

PROJECT DATE	DRAWN BY: KRH	NO.	DATE	REVISION	BY
	DESIGNED BY: KRH				
	CHECKED BY: ATW				

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**VILLAGE OF COTTAGE GROVE
2020 BAKKEN PARK IMPROVEMENT
COTTAGE GROVE, WI**

LIGHTING SCHEDULES

PROJECT NO.
00094041
SHEET
E4.0

PLOT DATE: Tuesday, November 26, 2019 10:58:16 AM, Q:\2020 Projects\2020xxx - MSA Cottage Grove Bakken Park\02 Design\02 Drawings\Electrical\E4.0 LIGHTING SCHEDULE.dwg

LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

LITEISTRY™

FEATURES

- 4" architectural LED downlight delivering 600 – 4000 lm
- Four beam distributions from 0.4 to 1.2 Spacing Criteria
- Quiet reflector appearance with superior 50° optical cutoff
- 2700K – 5000K, 80+ and 90+ CRI options
- Available for New Construction (non-IC), Retrofit (non-IC), IC and Chicago Plenum applications
- Variety of dimming protocol options including 0–10V, DALI, DMX, Lutron Forward Phase and EcoSystem
- NX Distributed Intelligence™ wired and wireless controls capability available



RELATED PRODUCTS

Ø 3" LITEISTRY Family

Ø 4" LITEISTRY Family

Ø 6" LITEISTRY Family

CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Standard Non-IC. Chicago Plenum, IC and Retrofit options
- New Construction: Painted black durable steel platform with pre-installed bar hangers
- Retrofit: Die cast aluminum mounting ring with 5-axis adjustable junction box
- Retrofit housing allows below ceiling installation without removing existing fixture
- Pre-wired junction box with snap-on covers for easy access
- Snap-in connection from driver compartment allows easy installation
- Light Engine connections use plenum rated (CMP) cable

OPTICS

- Visually pleasing 50° cutoff to source and source image
- The light distribution is free of distracting bright spots or pixelation and the perimeter has a smooth transition
- Optical grade silicone lens integral to light engine
- High purity spun aluminum reflector, self-flanged
- Flush Mount flange option with mud-in ring available
- Large selection of anodized finishes and colors

OPTICS (CONTINUED)

- Painted cones and flange options available

ELECTRICAL

- Chip-on-board LED with 2 SDCM
- Multiple CCTs, 80+ or 90+ CRI
- Long LED life: L90 at >55,000 hours (TM-21)
- Universal voltage 120V–277V driver, 347V optional
- UL Class 2, inherent short circuit and overload protection, RoHS compliant
- Flicker free 0-10V dimming with 1% or <1% performance
- DALI, DMX, and Lutron Forward Phase and EcoSystem options
- Integral and remote emergency controller and battery pack options available
- NX or Lutron Vibe control options available
- Refer to additional spec sheets for information on SpectraSync™ Tunable White or Dim-to-Warm or PowerHUBB™ PoE enabled solutions

INSTALLATION

- Accommodates ceiling thickness up to 2"
- Universal adjustable mounting brackets also accept 0.5" EMT conduit or 1.5" or 0.75" lathing channel (by others) or Prescolite accessory bar hangers (B24 or B6)
- Light Engine/Driver fully serviceable from above or below the ceiling

CERTIFICATIONS

- cCSAus certified to UL 1598
- Suitable for wet locations, covered ceiling
- EM/EMR: Certified under UL 924 standard for emergency lighting and power equipment
- Approved for 8 (4 in/4 out) No. 12AWG conductors rated for 90°C through wiring
- ENERGY STAR® certified models available (See list and additional information on page 7)

WARRANTY

- 5 year warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	600-4000
Wattage Range	8-52
Efficacy Range (LPW)	90-99*
Reported Life (Hours)	L90 / >55,000
Input Current (mA)	65-433 (120V)

*Based on Specular, 35K, 80 CRI



LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

ORDERING GUIDE

Example: LTR-4RD-H-SL10L-DM1-LTR-4RD-T-SL35K8MDS

CATALOG # _____

HOUSING

LTR-4RD-H		Lumen Package		Lumen Output		Driver Options ³		Control Options		Voltage		Housing Options ¹¹									
Aperture/Shape/Function																					
LTR-4RD-H	4" Round Downlight New Construction Housing	SL	Standard Lumen	06L	600	DM1	0-10V Dimming to 1%	NXE	NX Enabled, Dual SmartPorts ⁴	Standard	120-277V	CP	Chicago Plenum ⁹								
				10L	1000									DM01	0-10V Dimming to < 1%	NXWE	NX Wireless Enabled ⁴	34	347V ⁸	IC	IC rated ¹⁰
				15L	1500																
LTR-4RD-RFH	4" Round Downlight Retrofit Housing ¹⁷	ML	Medium Lumen	20L	2000	DMX	DMX with RDM dimming to < 0.1% ³	NXWD	NX Wireless Enabled, Dual SmartPorts ⁴	EM	Emergency Battery Pack with integral test switch and indicator light	EMR	Emergency Battery Pack with remote test switch and indicator light								
				25L	2500									DALI	DALI Dimming to 1%	LV	Lutron Vive Enabled, 0-10V (requires 0-10V driver)	DTS	Device Transfer Switch		
				30L	3000																
LTR-4RD-RFHW	4" Round Downlight Retrofit Housing (for Wide Diameter) ¹⁷	HL	High Lumen	35L	3500	2DM	Lutron Hi-Lume 2-wire Dimming to 1% (120V Forward Phase only) ³	LVE	Lutron Vive Enabled, EcoSystem, (requires EDM)	GTD	Generator Transfer Device	F	Fuse								
				40L	4000									EDM	Lutron Hi-Lume EcoSystem Dimming to 1% ³						

TRIM

LTR-4RD-T		Lumen Package		CCT		CRI		Distribution			
Aperture/Shape/Function											
LTR-4RD-T	4" Round Downlight Light Engine/Trim Assembly	SL	Standard Lumen	27K	2700K	8	80+CRI	NR	Narrow (0.4 SC)		
				30K	3000K	9	90+CRI	MD	Medium (0.7 SC)		
				HL	High Lumen	35K	3500K	WD	Wide (0.9 SC)		
						40K	4000K			XW	Extra Wide (1.2 SC)
						50K	5000K ²				

TRIM CONTINUED

Reflector Finish	Reflector Color	Flange Color Options	Lower Trim Options	Reflector Options
<i>Finish not applicable with painted reflectors (WC or BC)</i>	<i>Standard Clear</i>	<i>Standard matches reflector color</i>	EM Pre-punched reflector for EM integral test switch and indicator	AM Antimicrobial Coating ⁵
S Specular	CG Champagne Gold	WT White Flange ⁵	FM Flush Mount Mud-in Ring ¹²	
SS Semi-Specular	BL Black	BT Black Flange ⁵	WF Wide Flange	
MFC American Matte™	LW Light Wheat			
VS Softglow®	PW Pewter			
VSS SoftSheen™	WC Painted White Cone and Flange			
	BC Painted Black Cone and Flange			

Notes:

- RFH and RFHW available up to 30L; not available with Controls or Housing options.
- 5000K available in 80+ CRI only.
- 2DM, EDM, DMX available in 10L-35L.
- NX requires DM1 driver option.
- WT not needed for WC, BT not needed for BC.
- Clear reflector or WC only, consult factory for other colors.
- See line art for compatibility with existing aperture diameters.
- 347V requires DM1 driver option; not available in 06L or with Controls F, DTS, GTD, EM, EMR.
- CP available up to 20L; not available with DMX, Controls, or EMR options.
- IC available up to 20L; not available with Controls options.
- Housing options (except Fuse) not available in combination.
- Flush Mount Flange (FM) requires FMR accessory (sold separately).
- Not for use with Retrofit housings (RFH/RFHW).

Accessories

- B24** Set of two (2) 24" bar hangers for T-bar ceilings¹³
- B6** Set of two bar hangers for ceiling joist up to 24" centers¹³
- FMR4-R** Flush Mount Mud-In Ring Accessory, 4" Round
- LiteGear** LiteGear® Inverter, 125VA-250VA
- LPS Series** LightPower Micro-Inverter, 20VA-55VA

LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

CONTROLS

NX Distributed Intelligence™ Lighting Controls:

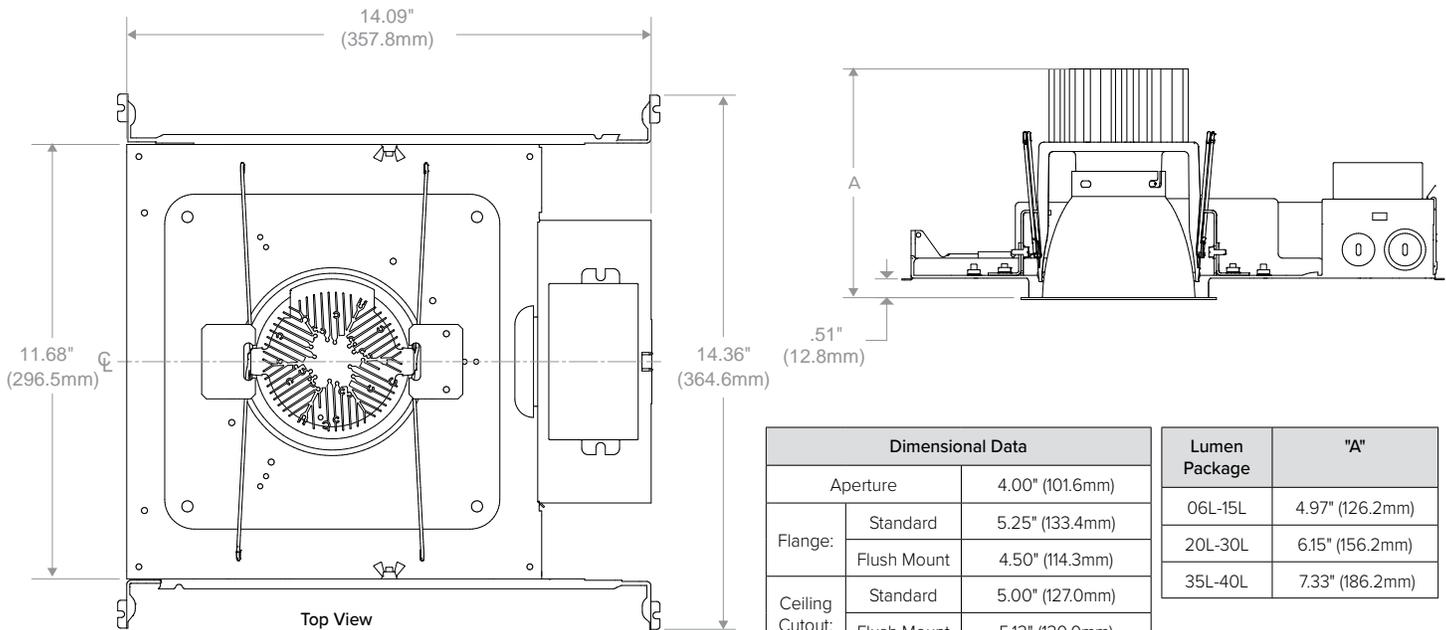
Supports applications in a variety of deployment options- wired, wireless, hybrid. Integrates with and enables a wide array of luminaires including those with SpectraSync™ Color Tuning Technology.



NX INTEGRATED CONTROLS REFERENCE								
NX Option	Sensor	Networkable	Scheduling	Occupancy	Daylight Harvesting	0-10V Dimming	On/off Control	Bluetooth® App Programming
NX Networked – Wired								
NXE	N/A	Yes	Yes	No	No	Yes	Yes	Requires NXBTC/R ¹
NX Networked – Wireless								
NXWE ²	N/A	Yes	Yes	No	No	Yes	Yes	No ³
NX Networked – Wired/Wireless								
NXWD	N/A	Yes	Yes	No	No	Yes	Yes	Requires NXBTC/R ^{1,3}

- 1 NXBTC/R needs to be plugged into an available NX SmartPort™ on the fixture network
- 2 Programming via App requires factory assistance
- 3 To program NXWE option, need to consult factory. If connected to an area controller, programming can be done from that

DIMENSIONS



LTR-4RD-H New Construction

LTR-4RD

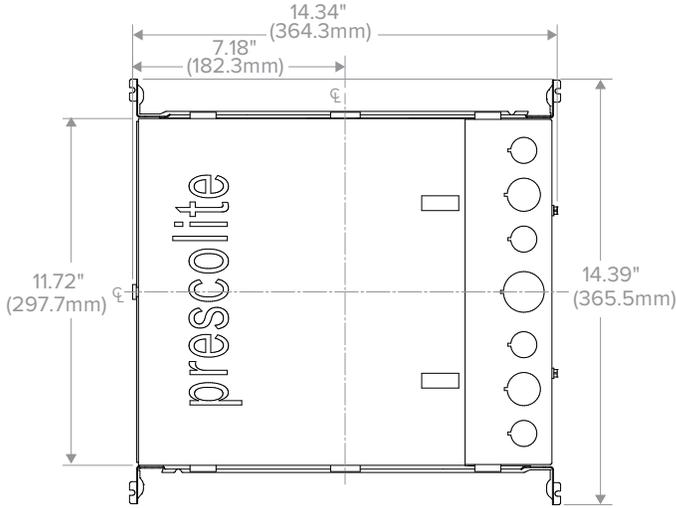
LITEISTRY 4" ROUND DOWNLIGHT

DATE: _____ LOCATION: _____

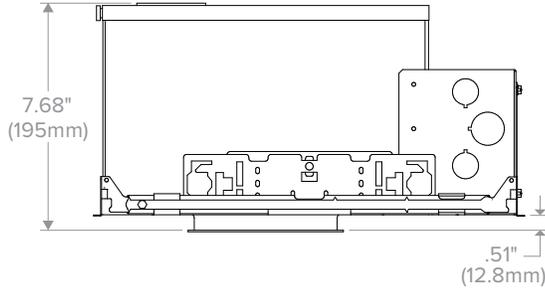
TYPE: _____ PROJECT: _____

CATALOG #: _____

DIMENSIONS CONTINUED

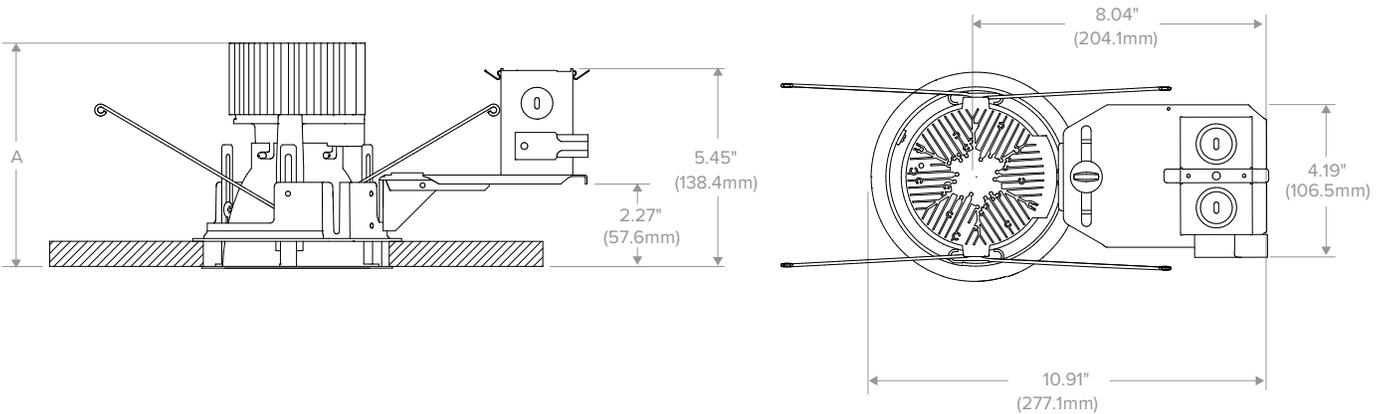


Top View



Dimensional Data		
Aperture		4.00" (101.6mm)
Flange:	Standard	5.25" (133.4mm)
	Flush Mount	4.50" (114.3mm)
Ceiling Cutout:	Standard	5.00" (127.0mm)
	Flush Mount	5.12" (130.0mm)
Ceiling Thickness:		0.50" to 2.00" (12.7mm to 50.8mm)

LTR-4RD-H IC/CP



Top View

Housing Compatibility Guide			
Existing Frame Opening**		Use Housing	Use Flange Option
MIN	MAX		
4.75" (120.7mm)	5.00" (127.0mm)	-RFH	(Standard)
5.00" (127.0mm)	5.50" (139.7mm)	-RFHW	WF

**Measure the existing plaster frame opening at its narrowest point

Dimensional Data		
Aperture		4.00" (101.6mm)
Flange:	Standard	5.25" (133.4mm)
	Flush Mount	4.50" (114.3mm)
	Wide (WF)	5.75" (146.1mm)
Ceiling Cutout:	Standard	5.00" (127.0mm)
	Flush Mount	5.12" (130.0mm)
Ceiling Thickness:		0.50" to 2.00" (12.7mm to 50.8mm)

Lumen Package	"A"
06L-15L	4.97" (126.2mm)
20L-30L	6.15" (156.2mm)

LTR-4RD-RFH/-RFHW

LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

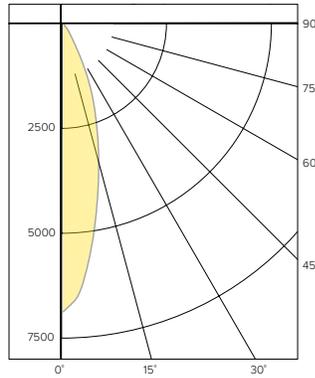
PHOTOMETRY

LTR-4RD-H-ML20L-DM1 / LTR-4RD-T-ML35K8NRS

LUMINAIRE DATA

Test No.	19.00532
Description	2000 lm, Narrow, 3500K, 80 CRI
Delivered Lumens	2238
Watts	22.5W
Efficacy	99.3
Mounting	Recessed
Spacing Criterion	0.4
Beam Angle (FWHM)	29

POLAR GRAPH



CANDELA DISTRIBUTION

Degree	Candela
0	6877
5	6035
15	3284
25	1313
35	260
45	26
55	3
65	1
75	0
85	0
90	0

LUMINANCE DATA*

Vertical Angle	Average
45°	4535
55°	645
65°	292
75°	0
85°	0

*Candela/Square Meter

ZONAL LUMEN SUMMARY

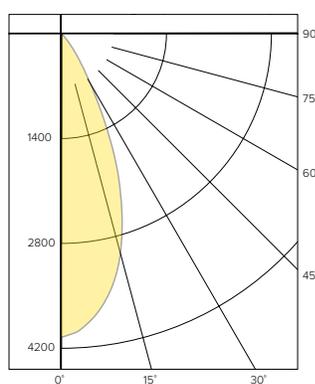
Zone	Lumens	% Luminaire
0-40	2208	98.6
0-60	2237	99.9
0-90	2238	100.0
0-180	2238	100.0

LTR-4RD-H-ML20L-DM1 / LTR-4RD-T-ML35K8MDS

LUMINAIRE DATA

Test No.	19.00533
Description	2000 lm, Medium, 3500K, 80 CRI
Delivered Lumens	2152
Watts	22.5W
Efficacy	95.6
Mounting	Recessed
Spacing Criterion	0.7
Beam Angle (FWHM)	44

POLAR GRAPH



CANDELA DISTRIBUTION

Degree	Candela
0	4053
5	3893
15	3037
25	1493
35	366
45	34
55	3
65	1
75	0
85	0
90	0

LUMINANCE DATA*

Vertical Angle	Average
45°	5931
55°	645
65°	292
75°	0
85°	0

*Candela/Square Meter

ZONAL LUMEN SUMMARY

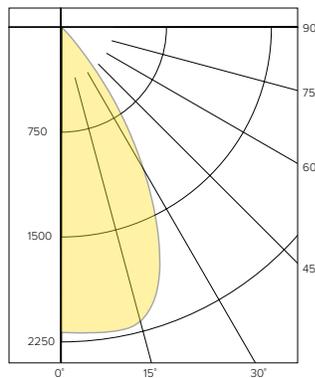
Zone	Lumens	% Luminaire
0-40	2113	98.2
0-60	2151	99.9
0-90	2152	100.0
0-180	2152	100.0

LTR-4RD-H-ML20L-DM1 / LTR-4RD-T-ML35K8WDS

LUMINAIRE DATA

Test No.	19.00534
Description	2000 lm, Wide, 3500K, 80 CRI
Delivered Lumens	2059
Watts	22.5W
Efficacy	91.6
Mounting	Recessed
Spacing Criterion	0.9
Beam Angle (FWHM)	61

POLAR GRAPH



CANDELA DISTRIBUTION

Degree	Candela
0	2201
5	2210
15	2051
25	1504
35	692
45	169
55	10
65	3
75	1
85	0
90	0

LUMINANCE DATA*

Vertical Angle	Average
45°	11338
55°	1075
65°	584
75°	477
85°	0

*Candela/Square Meter

ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	1983	96.3
0-60	2056	99.8
0-90	2059	100.0
0-180	2059	100.0

LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

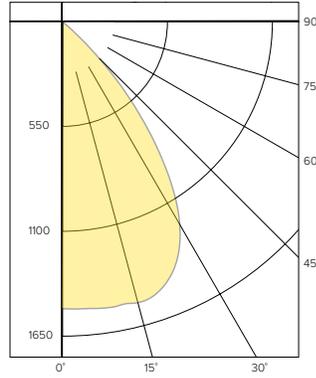
PHOTOMETRY CONTINUED

LTR-4RD-H-ML20L-DM1 / LTR-4RD-T-ML35K8XWS

LUMINAIRE DATA

Test No.	19.00535
Description	2000 lm, Extra Wide, 3500K, 80 CRI
Delivered Lumens	2028
Watts	22.5W
Efficacy	90.2
Mounting	Recessed
Spacing Criterion	1.2
Beam Angle (FWHM)	78

POLAR GRAPH



CANDELA DISTRIBUTION

Degree	Candela
0	1235
5	1252
15	1392
25	1454
35	1010
45	256
55	6
65	2
75	1
85	0
90	0

LUMINANCE DATA*

Vertical Angle	Average
45°	44656
55°	1290
65°	584
75°	231
85°	477

*Candela/Square Meter

ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	1794	88.5
0-60	2025	99.8
0-90	2028	100.0
0-180	2028	100.0

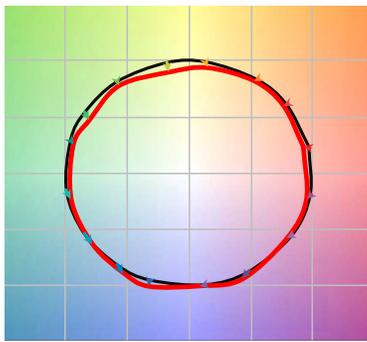
LUMEN MULTIPLIER

Option	27K8	30K8	35K8	40K8	50K8	27K9	30K9	35K9	40K9
Multiplier	0.94	0.98	1.00	1.01	1.02	0.81	0.84	0.85	0.85

Photometrics are published below at a nominal 3500 Kelvin, 80+ CRI. This table may be used to approximate the lumen values at different Kelvin temperatures. Power consumption would stay the same.

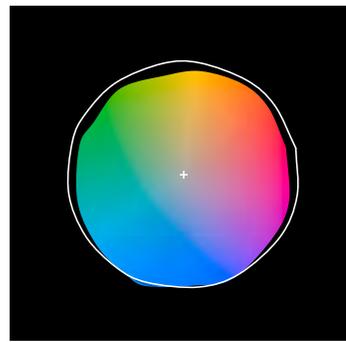
TM-30 DATA

COLOR VECTOR GRAPHIC 3500K, 90 CRI



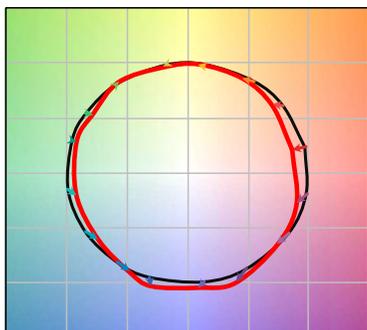
— Reference Illuminant — Test Source

COLOR DISTORTION GRAPHIC 3500K, 90 CRI



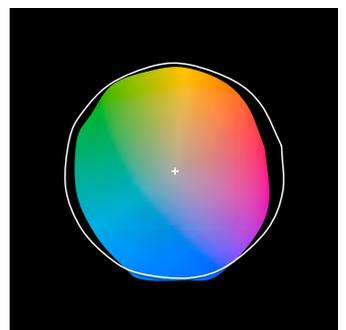
TEST RESULTS - 3500K		
Value	80+ CRI	90+ CRI
R _f	84	88
R _g	95	95
CCT (K)	3411	3419
D _{uv}	0.0015	0.0042
x	0.4120	0.4147
y	0.3974	0.4052
CIE R _a	84	93
CIE R _g	11	62

COLOR VECTOR GRAPHIC 3500K, 80 CRI



— Reference Illuminant — Test Source

COLOR DISTORTION GRAPHIC 3500K, 80 CRI





LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

ELECTRICAL DATA

DRIVER DATA		
Input Voltage	120-277 V	347 V
Input Frequency	50/60 Hz	50/60 Hz
Power Factor	≥0.90	≥0.90
THD	<20%	<20%
EMI Filtering (FCC 47 CFR Part 15)	Class A	Class A

* Values for DM1 option shown, values for other dimming options may vary.

WATTAGE DATA		
Lumen Output	Nominal Lumens	Wattage
06L	600	8
10L	1000	12
15L	1500	19
20L	2000	23
25L	2500	28
30L	3000	35
35L	3500	43
40L	4000	52

* Wattage may vary based on configuration and options selected

ADDITIONAL INFORMATION

DIMMING COMPATIBILITY CHART		
Dimming Driver	Manufacturer	Web Link
DM1 /DM01	Lutron DVTV	http://bit.ly/11jSvZg
DM1	Leviton AWRMG-7xx, AWSMG-7xx, AWSMT-7xx	http://bit.ly/1BjN2R9
EDM	Lutron	http://bit.ly/1vtjHAI
2DM	Lutron	http://bit.ly/1S4WjXK

DMX

See instruction sheet on www.prescolite.com for connection & installation information.

Central Inverters

For full fixture output in back-up mode, we recommend you visit www.dual-lite.com for your Central Lighting Inverter options. Please contact your local Hubbell representative for any assistance with proper sizing and loading of your inverter selection. Central lighting inverters must be ordered separately.

LiteGear: www.dual-lite.com/products/litegear_lg_series

LPS Series: www.dual-lite.com/products/lps

ENERGY STAR®

The following stock items are ENERGY STAR® certified models. (See www.energystar.gov for more details.)

ENERGY STAR® Certified Models
LTR-4RD-H-SL10L-DM1 + LTR-4RD-T-SL35K8WDSS
LTR-4RD-H-SL10L-DM1 + LTR-4RD-T-SL35K8WDSSWT
LTR-4RD-H-SL15L-DM1 + LTR-4RD-T-SL35K8WDSS
LTR-4RD-H-SL15L-DM1 + LTR-4RD-T-SL35K8WDSSWT
LTR-4RD-H-ML20L-DM1 + LTR-4RD-T-ML35K8WDSS
LTR-4RD-H-ML20L-DM1 + LTR-4RD-T-ML35K8WDSSWT
LTR-4RD-H-ML30L-DM1 + LTR-4RD-T-ML35K8WDSS
LTR-4RD-H-ML30L-DM1 + LTR-4RD-T-ML35K8WDSSWT
LTR-4RD-H-HL40L-DM1 + LTR-4RD-T-HL35K8WDSS
LTR-4RD-H-HL40L-DM1 + LTR-4RD-T-HL35K8WDSSWT

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HMWP-UDQ DuraLED Halfmoon Up/Down Light



Project Name: _____		Project Information		Fixture Type: _____	
Complete Catalog #: _____				Date: _____	
Comments: _____					

The DuraGuard HMWP-UDQ up and down architectural wall luminaire is available with an IES Type V distribution designed to replace HID lighting systems from 150w to 250w MH or HPS. Typical wall mounted lighting applications include retail centers, industrial parks, schools and universities, public transit and airports, office buildings and medical facilities. Mounting heights of 12 to 20 feet can be used based on light level and uniformity requirements.

SPECIFICATIONS AND FEATURES:

HOUSING:

Die Cast Gasketed Aluminum Front Frame and Housing. Nickel-Plated Stainless Steel Hardware.

LISTING & RATINGS:

CSA: Listed for Wet Locations, ANSI/UL 1598, 8750 IP65 Sealed LED Compartment.

FINISH:

Textured Architectural Bronze Powdercoat Finish Over a Chromate Conversion Coating. Custom Colors Available Upon Request.

LENS:

Bottom: Tempered Clear Flat Glass Lens, Top: Oval Molded Tempered Clear Glass Lens

MOUNTING OPTIONS:

Mount Directly Over a 4" Recessed Outlet Box, Includes Easy-Hang "Two Hands Free" Wall Mounting Bracket with Built-In Level.

DURALED LED:

Aluminum Boards

WATTAGE:

Array:12w and 34w, System: 52w (250w HID Equivalent)

DRIVER:

Electronic Driver, 120-277V, 50/60Hz or 347V, 50/60Hz; Less Than 20% THD and PF>0.90. Standard Internal Surge Protection 6kV, 0-10V Dimming Standard for a Dimming Range of 100% to 10%; Dimming Source Current is 150 Microamps.

WARRANTY:

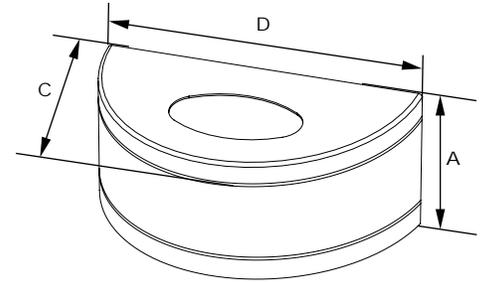
5-Year Warranty for -40°C to +40°C Environment.

See Page 2 for Projected Lumen Maintenance Table.



(Top View)

(Bottom View)



Dimensions

Width (D)	18 1/2" (460mm)
Depth (C)	7 1/2" (181mm)
Height (A)	9 1/2" (232mm)

DuraLED TECHNOLOGY

Complete Units
Ordering Information
Example: HMWP-UDQF1X46U5KZSP

HMWP-UDQ DuraLED Halfmoon Up/Down Light

HMWP-UDQ	F	1X46				
Model	Optics	Wattage	Driver	CCT	Color	Options
HMWP-UDQ= DuraLED Halfmoon Up/Down Light	F=Type V	1X46= Up 1x12w, Down 1x34	U=120-277V C=347V	4K=4000K 5K=5000K	Z=Bronze C=Custom (Consult Factory)	SF=Single Fuse DF=Double Fuse SP=Surge Protection BU=Battery Backup, 90 Minutes



HMWP-UDQ DuraLED Halfmoon Up/Down Light



**Replacement Parts
(Order Separately, Field Installed)**

For Replacement Battery Backup, see the DuraGuard LED Battery Backup Specification Sheet.

PHOTOMETRIC PERFORMANCE

LED Board Watts	Drive Current (mA)	Input Watts	Optics	5000 CCT 80 CRI			4000 CCT 80 CRI		
				Lumens	LPW	B U G	Lumens	LPW	B U G
DuraLED 46w	525	52	Type V	5,922	114	2 5 1	5,419	104	2 5 0

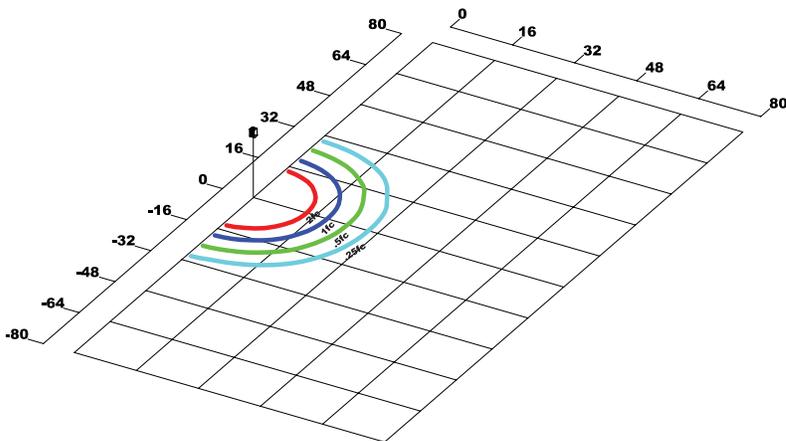
PROJECTED LUMEN MAINTENANCE

Data shown for 5000 CCT			Compare to MH				
TM-21-11	Input Watts	Initial	25,000 Hrs	50,000 Hrs	100,000 Hrs	Calculated L70@ 25°C	
L70 Lumen Maintenance @ 25°C / 77°F	52	1.00	0.98	0.96	0.93	410,000	
TM-21-11	Input Watts	Initial	25,000 Hrs	50,000 Hrs	100,000 Hrs	Calculated L70@ 50°C	
L70 Lumen Maintenance @ 50°C / 122°F	52	1.00	0.97	0.94	0.87	235,000	
TM-21-11	Input Watts	Initial	25,000 Hrs	50,000 Hrs	100,000 Hrs	Calculated L80@ 40°C	
L80 Lumen Maintenance @ 40°C / 104°F	52	1.00	0.97	0.95	0.89	187,000	

NOTES:

- Projected per IESNA TM-21-11. Data references the extrapolated performance projections for the 525mA base model in a 25°C ambient, based on 10,000 hours of LED testing per IESNA LM-80-08.
- Compare to MH box indicates suggested Light Loss Factor (LLF) to be used when comparing to Metal Halide (MH) systems.

PHOTOMETRIC DATA



HMWP-UDQF1X46U5KC
Type V

Grid in MH
MH=16 Feet

LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

LITEISTRY™

FEATURES

- 4" architectural LED downlight delivering 600 – 4000 lm
- Four beam distributions from 0.4 to 1.2 Spacing Criteria
- Quiet reflector appearance with superior 50° optical cutoff
- 2700K – 5000K, 80+ and 90+ CRI options
- Available for New Construction (non-IC), Retrofit (non-IC), IC and Chicago Plenum applications
- Variety of dimming protocol options including 0–10V, DALI, DMX, Lutron Forward Phase and EcoSystem
- NX Distributed Intelligence™ wired and wireless controls capability available



RELATED PRODUCTS

Ø 3" LITEISTRY Family

Ø 4" LITEISTRY Family

Ø 6" LITEISTRY Family

CONTROL TECHNOLOGY



SPECIFICATIONS

CONSTRUCTION

- Standard Non-IC. Chicago Plenum, IC and Retrofit options
- New Construction: Painted black durable steel platform with pre-installed bar hangers
- Retrofit: Die cast aluminum mounting ring with 5-axis adjustable junction box
- Retrofit housing allows below ceiling installation without removing existing fixture
- Pre-wired junction box with snap-on covers for easy access
- Snap-in connection from driver compartment allows easy installation
- Light Engine connections use plenum rated (CMP) cable

OPTICS

- Visually pleasing 50° cutoff to source and source image
- The light distribution is free of distracting bright spots or pixelation and the perimeter has a smooth transition
- Optical grade silicone lens integral to light engine
- High purity spun aluminum reflector, self-flanged
- Flush Mount flange option with mud-in ring available
- Large selection of anodized finishes and colors

OPTICS (CONTINUED)

- Painted cones and flange options available

ELECTRICAL

- Chip-on-board LED with 2 SDCM
- Multiple CCTs, 80+ or 90+ CRI
- Long LED life: L90 at >55,000 hours (TM-21)
- Universal voltage 120V–277V driver, 347V optional
- UL Class 2, inherent short circuit and overload protection, RoHS compliant
- Flicker free 0-10V dimming with 1% or <1% performance
- DALI, DMX, and Lutron Forward Phase and EcoSystem options
- Integral and remote emergency controller and battery pack options available
- NX or Lutron Vibe control options available
- Refer to additional spec sheets for information on SpectraSync™ Tunable White or Dim-to-Warm or PowerHUBB™ PoE enabled solutions

INSTALLATION

- Accommodates ceiling thickness up to 2"
- Universal adjustable mounting brackets also accept 0.5" EMT conduit or 1.5" or 0.75" lathing channel (by others) or Prescolite accessory bar hangers (B24 or B6)
- Light Engine/Driver fully serviceable from above or below the ceiling

CERTIFICATIONS

- cCSAus certified to UL 1598
- Suitable for wet locations, covered ceiling
- EM/EMR: Certified under UL 924 standard for emergency lighting and power equipment
- Approved for 8 (4 in/4 out) No. 12AWG conductors rated for 90°C through wiring
- ENERGY STAR® certified models available (See list and additional information on page 7)

WARRANTY

- 5 year warranty
- See [HLI Standard Warranty](#) for additional information

KEY DATA	
Lumen Range	600-4000
Wattage Range	8-52
Efficacy Range (LPW)	90-99*
Reported Life (Hours)	L90 / >55,000
Input Current (mA)	65-433 (120V)

*Based on Specular, 35K, 80 CRI



LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

DATE: _____ LOCATION: _____
 TYPE: _____ PROJECT: _____
 CATALOG #: _____

ORDERING GUIDE

Example: LTR-4RD-H-SL10L-DM1-LTR-4RD-T-SL35K8MDS

CATALOG # _____

HOUSING

LTR-4RD-H		Lumen Package		Lumen Output		Driver Options ³		Control Options		Voltage		Housing Options ¹¹									
Aperture/Shape/Function																					
LTR-4RD-H	4" Round Downlight New Construction Housing	SL	Standard Lumen	06L	600	DM1	0-10V Dimming to 1%	NXE	NX Enabled, Dual SmartPorts ⁴	Standard	120-277V	CP	Chicago Plenum ⁹								
				10L	1000									DM01	0-10V Dimming to < 1%	NXWE	NX Wireless Enabled ⁴	34	347V ⁸	IC	IC rated ¹⁰
				15L	1500									DMX	DMX with RDM dimming to < 0.1% ³						
LTR-4RD-RFH	4" Round Downlight Retrofit Housing ¹⁷	ML	Medium Lumen	20L	2000	DALI	DALI Dimming to 1%	LV	Lutron Vive Enabled, 0-10V (requires 0-10V driver)	EMR	Emergency Battery Pack with remote test switch and indicator light										
				25L	2500							2DM	Lutron Hi-Lume 2-wire Dimming to 1% (120V Forward Phase only) ³	DTS	Device Transfer Switch						
				30L	3000											EDM	Lutron Hi-Lume EcoSystem Dimming to 1% ³	GTD	Generator Transfer Device		
LTR-4RD-RFHW	4" Round Downlight Retrofit Housing (for Wide Diameter) ¹⁷	HL	High Lumen	35L	3500	LVE	Lutron Vive Enabled, EcoSystem, (requires EDM)	F	Fuse												
				40L	4000																

TRIM

LTR-4RD-T		Lumen Package		CCT		CRI		Distribution											
Aperture/Shape/Function																			
LTR-4RD-T	4" Round Downlight Light Engine/Trim Assembly	SL	Standard Lumen	27K	2700K	8	80+CRI	NR	Narrow (0.4 SC)										
				30K	3000K					9	90+CRI	MD	Medium (0.7 SC)						
				HL	High Lumen									35K	3500K	WD	Wide (0.9 SC)		
														40K	4000K			XW	Extra Wide (1.2 SC)
														50K	5000K ²				

TRIM CONTINUED

Reflector Finish		Reflector Color		Flange Color Options		Lower Trim Options		Reflector Options	
<i>Finish not applicable with painted reflectors (WC or BC)</i>		Standard Clear		Standard matches reflector color		EM		Pre-punched reflector for EM integral test switch and indicator	
S	Specular	CG	Champagne Gold	WT	White Flange ⁵	FM	Flush Mount Mud-in Ring ¹²	AM	Antimicrobial Coating ⁶
SS	Semi-Specular	BL	Black	BT	Black Flange ⁵	WF	Wide Flange		
MFC	American Matte™	LW	Light Wheat						
VS	Softglow®	PW	Pewter						
VSS	SoftSheen™	WC	Painted White Cone and Flange						
		BC	Painted Black Cone and Flange						

Notes:

- RFH and RFHW available up to 30L; not available with Controls or Housing options.
- 5000K available in 80+ CRI only.
- 2DM, EDM, DMX available in 10L-35L.
- NX requires DM1 driver option.
- WT not needed for WC, BT not needed for BC.
- Clear reflector or WC only, consult factory for other colors.
- See line art for compatibility with existing aperture diameters.
- 347V requires DM1 driver option; not available in 06L or with Controls F, DTS, GTD, EM, EMR.
- CP available up to 20L; not available with DMX, Controls, or EMR options.
- IC available up to 20L; not available with Controls options.
- Housing options (except Fuse) not available in combination.
- Flush Mount Flange (FM) requires FMR accessory (sold separately).
- Not for use with Retrofit housings (RFH/RFHW).

Accessories

- B24** Set of two (2) 24" bar hangers for T-bar ceilings¹³
- B6** Set of two bar hangers for ceiling joist up to 24" centers¹³
- FMR4-R** Flush Mount Mud-In Ring Accessory, 4" Round
- LiteGear** LiteGear® Inverter, 125VA-250VA
- LPS Series** LightPower Micro-Inverter, 20VA-55VA

LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

CONTROLS

NX Distributed Intelligence™ Lighting Controls:

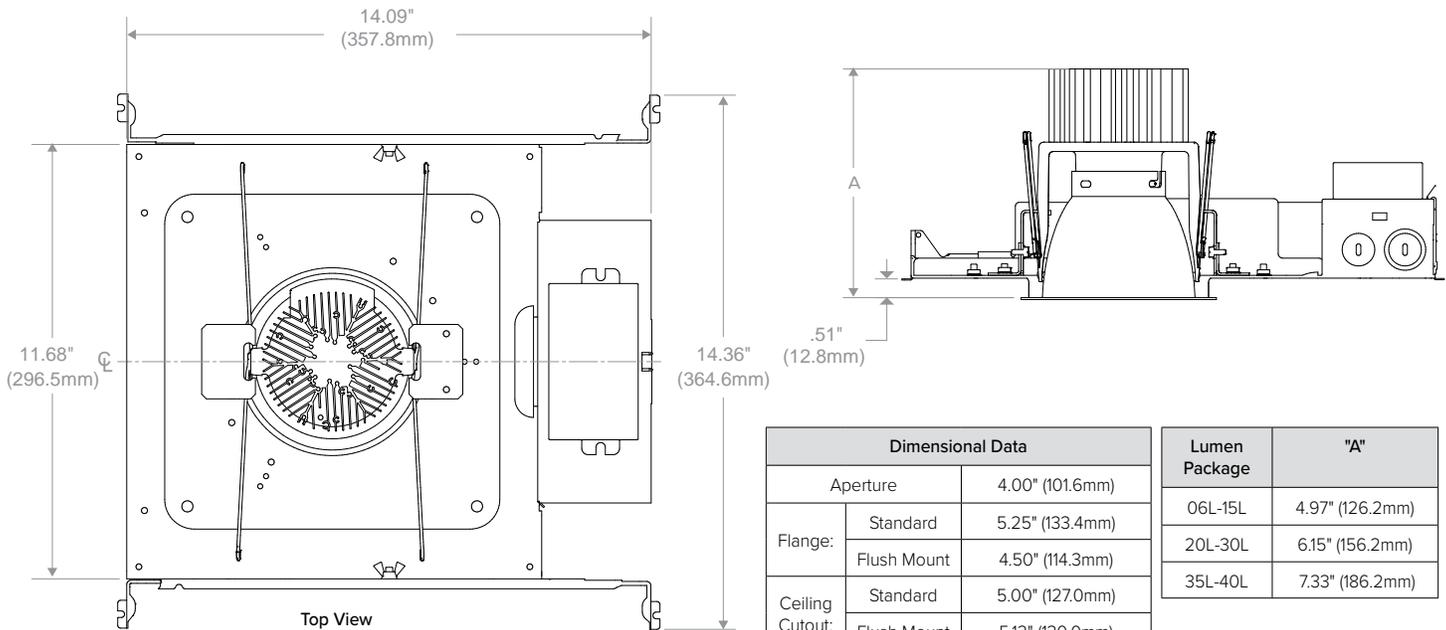
Supports applications in a variety of deployment options- wired, wireless, hybrid. Integrates with and enables a wide array of luminaires including those with SpectraSync™ Color Tuning Technology.



NX INTEGRATED CONTROLS REFERENCE								
NX Option	Sensor	Networkable	Scheduling	Occupancy	Daylight Harvesting	0-10V Dimming	On/off Control	Bluetooth® App Programming
NX Networked – Wired								
NXE	N/A	Yes	Yes	No	No	Yes	Yes	Requires NXBTC/R ¹
NX Networked – Wireless								
NXWE ²	N/A	Yes	Yes	No	No	Yes	Yes	No ³
NX Networked – Wired/Wireless								
NXWD	N/A	Yes	Yes	No	No	Yes	Yes	Requires NXBTC/R ^{1,3}

- 1 NXBTC/R needs to be plugged into an available NX SmartPort™ on the fixture network
- 2 Programming via App requires factory assistance
- 3 To program NXWE option, need to consult factory. If connected to an area controller, programming can be done from that

DIMENSIONS



Dimensional Data			Lumen Package	"A"
Aperture		4.00" (101.6mm)		
Flange:	Standard	5.25" (133.4mm)	06L-15L	4.97" (126.2mm)
	Flush Mount	4.50" (114.3mm)	20L-30L	6.15" (156.2mm)
Ceiling Cutout:	Standard	5.00" (127.0mm)	35L-40L	7.33" (186.2mm)
	Flush Mount	5.12" (130.0mm)		
Ceiling Thickness:		0.50" to 2.00" (12.7mm to 50.8mm)		

LTR-4RD-H New Construction

LTR-4RD

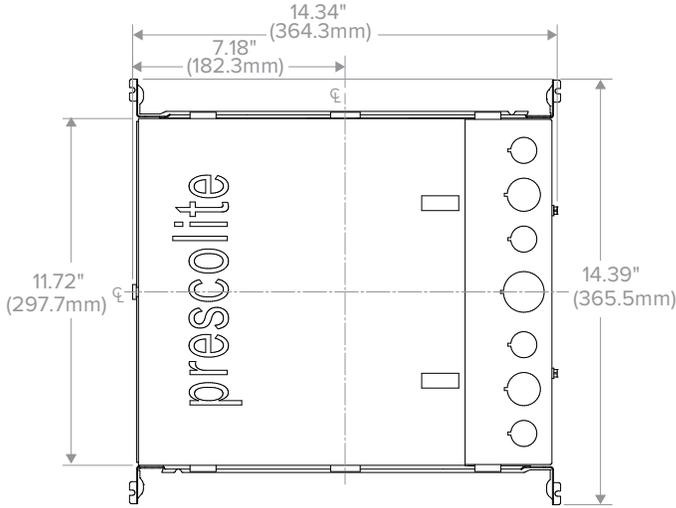
LITEISTRY 4" ROUND DOWNLIGHT

DATE: _____ LOCATION: _____

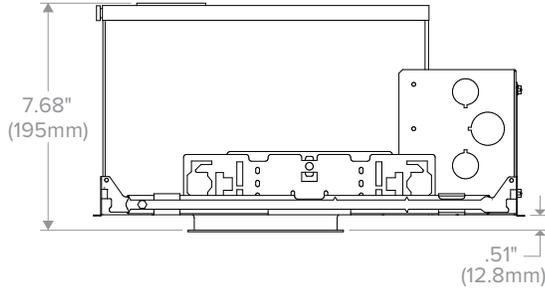
TYPE: _____ PROJECT: _____

CATALOG #: _____

DIMENSIONS CONTINUED

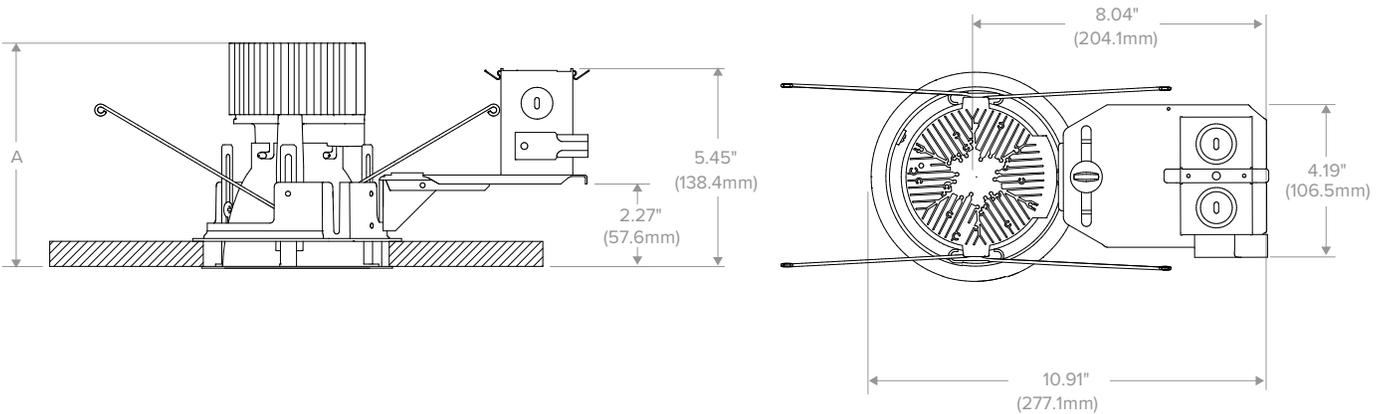


Top View



Dimensional Data		
Aperture		4.00" (101.6mm)
Flange:	Standard	5.25" (133.4mm)
	Flush Mount	4.50" (114.3mm)
Ceiling Cutout:	Standard	5.00" (127.0mm)
	Flush Mount	5.12" (130.0mm)
Ceiling Thickness:		0.50" to 2.00" (12.7mm to 50.8mm)

LTR-4RD-H IC/CP



Top View

Housing Compatibility Guide			
Existing Frame Opening**		Use Housing	Use Flange Option
MIN	MAX		
4.75" (120.7mm)	5.00" (127.0mm)	-RFH	(Standard)
5.00" (127.0mm)	5.50" (139.7mm)	-RFHW	WF

**Measure the existing plaster frame opening at its narrowest point

Dimensional Data		
Aperture		4.00" (101.6mm)
Flange:	Standard	5.25" (133.4mm)
	Flush Mount	4.50" (114.3mm)
	Wide (WF)	5.75" (146.1mm)
Ceiling Cutout:	Standard	5.00" (127.0mm)
	Flush Mount	5.12" (130.0mm)
Ceiling Thickness:		0.50" to 2.00" (12.7mm to 50.8mm)

Lumen Package	"A"
06L-15L	4.97" (126.2mm)
20L-30L	6.15" (156.2mm)

LTR-4RD-RFH/-RFHW

LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

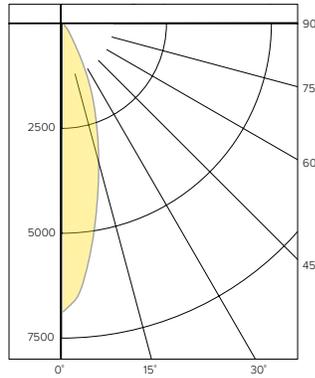
PHOTOMETRY

LTR-4RD-H-ML20L-DM1 / LTR-4RD-T-ML35K8NRS

LUMINAIRE DATA

Test No.	19.00532
Description	2000 lm, Narrow, 3500K, 80 CRI
Delivered Lumens	2238
Watts	22.5W
Efficacy	99.3
Mounting	Recessed
Spacing Criterion	0.4
Beam Angle (FWHM)	29

POLAR GRAPH



CANDELA DISTRIBUTION

Degree	Candela
0	6877
5	6035
15	3284
25	1313
35	260
45	26
55	3
65	1
75	0
85	0
90	0

LUMINANCE DATA*

Vertical Angle	Average
45°	4535
55°	645
65°	292
75°	0
85°	0

*Candela/Square Meter

ZONAL LUMEN SUMMARY

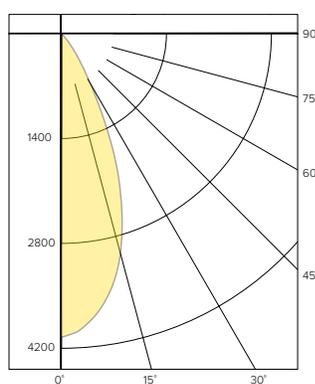
Zone	Lumens	% Luminaire
0-40	2208	98.6
0-60	2237	99.9
0-90	2238	100.0
0-180	2238	100.0

LTR-4RD-H-ML20L-DM1 / LTR-4RD-T-ML35K8MDS

LUMINAIRE DATA

Test No.	19.00533
Description	2000 lm, Medium, 3500K, 80 CRI
Delivered Lumens	2152
Watts	22.5W
Efficacy	95.6
Mounting	Recessed
Spacing Criterion	0.7
Beam Angle (FWHM)	44

POLAR GRAPH



CANDELA DISTRIBUTION

Degree	Candela
0	4053
5	3893
15	3037
25	1493
35	366
45	34
55	3
65	1
75	0
85	0
90	0

LUMINANCE DATA*

Vertical Angle	Average
45°	5931
55°	645
65°	292
75°	0
85°	0

*Candela/Square Meter

ZONAL LUMEN SUMMARY

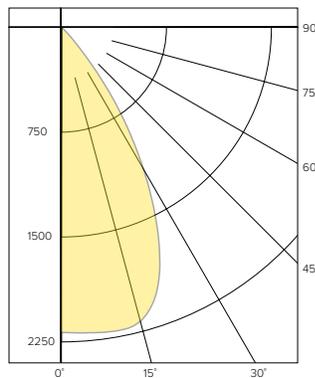
Zone	Lumens	% Luminaire
0-40	2113	98.2
0-60	2151	99.9
0-90	2152	100.0
0-180	2152	100.0

LTR-4RD-H-ML20L-DM1 / LTR-4RD-T-ML35K8WDS

LUMINAIRE DATA

Test No.	19.00534
Description	2000 lm, Wide, 3500K, 80 CRI
Delivered Lumens	2059
Watts	22.5W
Efficacy	91.6
Mounting	Recessed
Spacing Criterion	0.9
Beam Angle (FWHM)	61

POLAR GRAPH



CANDELA DISTRIBUTION

Degree	Candela
0	2201
5	2210
15	2051
25	1504
35	692
45	169
55	10
65	3
75	1
85	0
90	0

LUMINANCE DATA*

Vertical Angle	Average
45°	11338
55°	1075
65°	584
75°	477
85°	0

*Candela/Square Meter

ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	1983	96.3
0-60	2056	99.8
0-90	2059	100.0
0-180	2059	100.0

LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

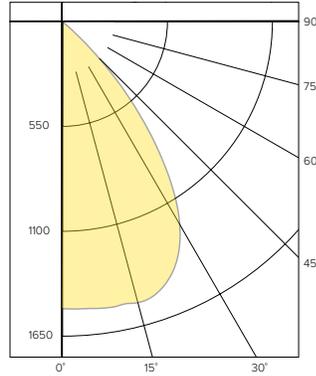
PHOTOMETRY CONTINUED

LTR-4RD-H-ML20L-DM1 / LTR-4RD-T-ML35K8XWS

LUMINAIRE DATA

Test No.	19.00535
Description	2000 lm, Extra Wide, 3500K, 80 CRI
Delivered Lumens	2028
Watts	22.5W
Efficacy	90.2
Mounting	Recessed
Spacing Criterion	1.2
Beam Angle (FWHM)	78

POLAR GRAPH



CANDELA DISTRIBUTION

Degree	Candela
0	1235
5	1252
15	1392
25	1454
35	1010
45	256
55	6
65	2
75	1
85	0
90	0

LUMINANCE DATA*

Vertical Angle	Average
45°	44656
55°	1290
65°	584
75°	231
85°	477

*Candela/Square Meter

ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	1794	88.5
0-60	2025	99.8
0-90	2028	100.0
0-180	2028	100.0

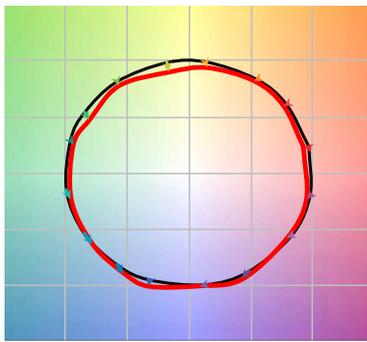
LUMEN MULTIPLIER

Option	27K8	30K8	35K8	40K8	50K8	27K9	30K9	35K9	40K9
Multiplier	0.94	0.98	1.00	1.01	1.02	0.81	0.84	0.85	0.85

Photometrics are published below at a nominal 3500 Kelvin, 80+ CRI. This table may be used to approximate the lumen values at different Kelvin temperatures. Power consumption would stay the same.

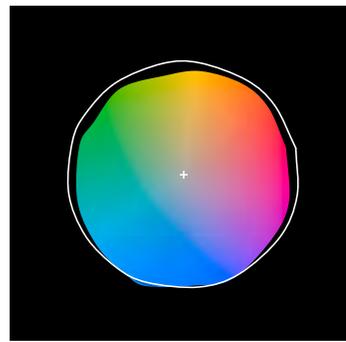
TM-30 DATA

COLOR VECTOR GRAPHIC 3500K, 90 CRI



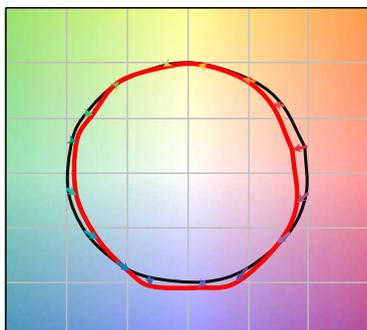
— Reference Illuminant — Test Source

COLOR DISTORTION GRAPHIC 3500K, 90 CRI



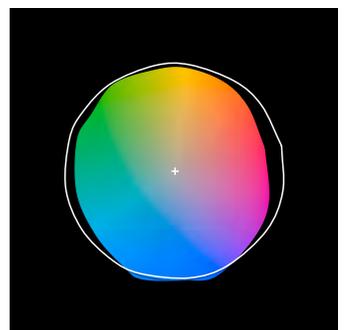
TEST RESULTS - 3500K		
Value	80+ CRI	90+ CRI
R _f	84	88
R _g	95	95
CCT (K)	3411	3419
D _{uv}	0.0015	0.0042
x	0.4120	0.4147
y	0.3974	0.4052
CIE R _a	84	93
CIE R _g	11	62

COLOR VECTOR GRAPHIC 3500K, 80 CRI



— Reference Illuminant — Test Source

COLOR DISTORTION GRAPHIC 3500K, 80 CRI





LTR-4RD

LITEISTRY 4" ROUND DOWNLIGHT

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____

ELECTRICAL DATA

DRIVER DATA		
Input Voltage	120-277 V	347 V
Input Frequency	50/60 Hz	50/60 Hz
Power Factor	≥0.90	≥0.90
THD	<20%	<20%
EMI Filtering (FCC 47 CFR Part 15)	Class A	Class A

* Values for DM1 option shown, values for other dimming options may vary.

WATTAGE DATA		
Lumen Output	Nominal Lumens	Wattage
06L	600	8
10L	1000	12
15L	1500	19
20L	2000	23
25L	2500	28
30L	3000	35
35L	3500	43
40L	4000	52

* Wattage may vary based on configuration and options selected

ADDITIONAL INFORMATION

DIMMING COMPATIBILITY CHART		
Dimming Driver	Manufacturer	Web Link
DM1 /DM01	Lutron DVTV	http://bit.ly/11jSvZg
DM1	Leviton AWRMG-7xx, AWSMG-7xx, AWSMT-7xx	http://bit.ly/1BjN2R9
EDM	Lutron	http://bit.ly/1vtjHAI
2DM	Lutron	http://bit.ly/1S4WjXK

DMX

See instruction sheet on www.prescolite.com for connection & installation information.

Central Inverters

For full fixture output in back-up mode, we recommend you visit www.dual-lite.com for your Central Lighting Inverter options. Please contact your local Hubbell representative for any assistance with proper sizing and loading of your inverter selection. Central lighting inverters must be ordered separately.

LiteGear: www.dual-lite.com/products/litegear_lg_series

LPS Series: www.dual-lite.com/products/lps

ENERGY STAR®

The following stock items are ENERGY STAR® certified models. (See www.energystar.gov for more details.)

ENERGY STAR® Certified Models
LTR-4RD-H-SL10L-DM1 + LTR-4RD-T-SL35K8WDSS
LTR-4RD-H-SL10L-DM1 + LTR-4RD-T-SL35K8WDSSWT
LTR-4RD-H-SL15L-DM1 + LTR-4RD-T-SL35K8WDSS
LTR-4RD-H-SL15L-DM1 + LTR-4RD-T-SL35K8WDSSWT
LTR-4RD-H-ML20L-DM1 + LTR-4RD-T-ML35K8WDSS
LTR-4RD-H-ML20L-DM1 + LTR-4RD-T-ML35K8WDSSWT
LTR-4RD-H-ML30L-DM1 + LTR-4RD-T-ML35K8WDSS
LTR-4RD-H-ML30L-DM1 + LTR-4RD-T-ML35K8WDSSWT
LTR-4RD-H-HL40L-DM1 + LTR-4RD-T-HL35K8WDSS
LTR-4RD-H-HL40L-DM1 + LTR-4RD-T-HL35K8WDSSWT

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JOB _____

TYPE _____

NOTES _____

APPROVALS _____

FEATURES

- 20" size in post top, pole and wall mount
- High performance optics up to 17,000 delivered lumens
- Elegant form factor
- Diffusion lens option
- SiteSync™ wireless control options

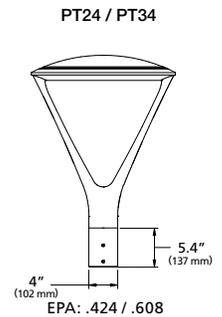
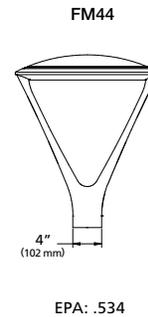
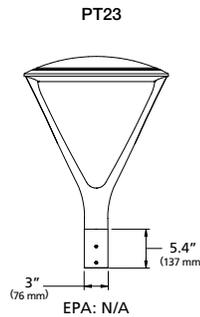
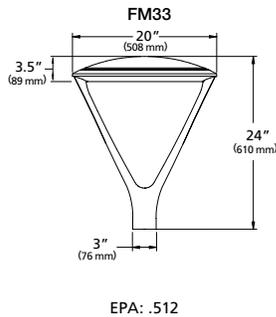
CERTIFICATIONS



SPECIFICATIONS



Weight: 35 lbs



ORDERING CODE

Series	LED Engine	CCT	Distribution	Rotation	Voltage	Mounting
UR20 Ouro	<u>No Lens or Clear Lens</u> 24L-25 3,000 lm 24L-65 7,000 lm 56L-75 10,000 lm 56L-110 15,000 lm 56L-140 17,000 lm <u>HDL - High Diffusion Lens</u> 28L-30 3,000 lm 28L-70 7,000 lm 68L-80 9,000 lm 68L-115 13,000 lm 68L-150 15,000 lm	<u>AM Amber</u> 3K7 3000K, 70 CRI 3K8 3000K, 80 CRI 3K9 3000K, 90 CRI <u>4K7 4000K, 70 CRI</u> 4K8 4000K, 80 CRI 5K7 5000K, 70 CRI	<u>No Lens or Clear Lens</u> FR Type I/Front Row 2 Type II 3 Type III 4 Type IV 4W Type IV Wide 5QM Type V Square Medium 5QN Type V Square Narrow 5R Type V Rectangular 5W Type V Wide (Round) <u>HDL - High Diffusion Lens</u> 3 Type III/Asymmetric 5W Type V/Symmetric	Blank for no rotation L ¹ Optic rotation left R ¹ Optic rotation right	UNV 120-277V 347 347V 480 480V DALI 120-277V [†] †Consult factory	FM33 Flush mt 3.0" OD pole, 3" fixture base FM44 Flush mt 3.6" to 4.0" OD pole, 4" fixture base PT23 3" Post Top mount for 2 3/8" OD Tenon PT24 4" Post Top mount for 2 3/8" OD Tenon PT34 4" Post Top mount for 2 7/8" OD Tenon
Fixture Finish	Control Options	Options	Control Accessories [^]			
BLS Black Gloss Smooth BLT Black Matte Textured DBS Dark Bronze Gloss Smooth GTT Graphite Matte Textured LGS Light Grey Gloss Smooth PSS Platinum Silver Smooth VGS Verde Green Smooth WHS White Gloss Smooth CC Custom Color [†] †Consult factory	7PR-TL 7 pin PCR with twist lock photocontrol 7PR-SC 7 pin PCR with shorting cap 7PR 7 pin PCR, wireless control enabled AD-01 ² AstroDIM: 50% output at midnight AD-02 ² AstroDIM: 50% output midnight to 4 AM AD-03 ² AstroDIM: 50% output 10PM AD-04 ² AstroDIM: 50% output 10PM to 4AM NXWE NX Wireless Enabled SWP ^{2,3,4} SiteSync Pre commission	SWPM-40F ^{2,3,4,5} SiteSync with Sensor 9' to 40' MH WSP-40F-1 ^{2,5} Dimming Occ. Sensor for up to 40' MH, 120/277/347V WSP-40F-2 ^{2,5} Dimming Occ. Sensor for up to 40' MH, 208/240V WSP-40F-3 ^{2,5} Dimming Occ. Sensor for up to 40' MH, 480V NXSPW14F ^{2,5} NX Wireless, PIR Sensor, 14' NXSPW30F ^{2,5} NX Wireless, PIR Occupancy Sensor, Dimming Daylight Harvesting, 30'. NXSP14F ^{2,5} NX, PIR Occupancy Sensor, Dimming Daylight Harvesting, 14' NXSP30F ^{2,5} NX, PIR Occupancy Sensor, Dimming Daylight Harvesting, 30'	SW7PR ^{2,3} SiteSync with 7 pin PCR SWUSB SiteSync Software on USB SWTAB SiteSync Windows® Tablet SWBRG SiteSync Wireless Bridge Node WIR-RME-L wiSCAPE External Fixture Module SCL-R Occ. Sensor for Round Pole (up to 16' MH) SCL-S Occ. Sensor for Square Pole (up to 16' MH) SCH-R Occ. Sensor for Round Pole (16' to 30' MH) SCH-S Occ. Sensor for Square Pole (16' to 30' MH) NXOFM-1R1D-UNV NX 7-pin Module [^] Please refer to page 8 for ordering details			

Microsoft, Encarta, MSN, and Windows are either registered trademarks or trademarks of Microsoft Corporation in the United States and/or other countries.

Kim Lighting reserves the right to change specifications without notice.

- 1 Not available with 5QM, 5QN, and 5W distributions.
- 2 Not available with other sensor or wireless control options.
- 3 Specify group and zone at time of order. See www.hubbellighting.com/sitesync for more details. Order at least one SiteSync interface accessory SWUSB or SWTAB. Each option contains SiteSync License, GUI, and Bridge Node.
- 4 Not available with 347V and 480V
- 5 24L & 56L only.
- 6 Not available with Type V distributions or HDL option.

LUMINAIRE PERFORMANCE

LED #	Nominal Lumen Package	Nominal Wattage	Lens Options	Distribution	3000K				4000K				5000K							
					Lumen	BUG Rating			lm/w	Lumen	BUG Rating			lm/w	Lumen	BUG Rating			lm/w	
						B	U	G			B	U	G			B	U	G		
24L	3,000	25	No Lens	FR	2932	0	0	1	115	3119	0	0	1	123	3098	0	0	1	124	
				FR-BC	1994	0	0	0	78	2121	0	0	0	83	2107	0	0	0	83	
				2	2943	1	0	1	116	3099	1	0	1	122	3110	1	0	1	124	
				2-BC	1724	0	0	1	68	1834	0	0	1	72	1822	0	0	1	72	
				3	3007	1	0	1	118	3200	1	0	1	126	3178	1	0	1	127	
				3-BC	1830	0	0	1	73	1947	0	0	1	78	1934	0	0	1	77	
				4	3056	0	0	1	120	3251	0	0	1	128	3229	0	0	1	129	
				4-BC	2235	0	0	1	88	2377	0	0	1	93	2362	0	0	1	93	
				4W	3078	1	0	2	121	3276	1	0	2	129	3253	1	0	2	130	
				4W-BC	1855	0	0	1	73	1975	0	0	1	78	1961	0	0	1	77	
				5QM	2931	2	0	1	115	3119	2	0	1	123	3098	2	0	1	124	
				5QN	2694	2	0	1	106	2866	2	0	1	113	2847	2	0	1	114	
				5R	3054	2	0	2	120	3250	2	0	2	128	3228	2	0	2	129	
				5W	3043	2	0	1	120	3237	2	0	1	127	3216	2	0	1	129	
				Clear Lens	FR	2773	0	0	1	109	2951	0	0	1	116	2930	0	0	1	117
					FR-BC	1886	0	0	1	74	2007	0	0	1	79	1993	0	0	1	78
					2	2784	1	0	1	109	2963	1	0	1	116	2942	1	0	1	118
					2-BC	1631	0	0	1	64	1736	0	0	1	68	1723	0	0	1	67
		3	2845		1	0	1	111	3028	1	0	1	119	3007	1	0	1	120		
		3BC	1806		0	0	1	72	1922	0	0	1	77	1909	0	0	1	76		
		4	2891		0	0	1	113	3076	0	0	1	120	3055	0	0	1	122		
		4-BC	2114		0	0	1	83	2250	0	0	1	88	2234	0	0	1	88		
		4W	2912		1	0	1	114	3099	1	0	2	121	3077	1	0	2	123		
		4W-BC	1755		0	0	1	69	1868	0	0	1	73	1855	0	0	1	5		
5QM	2773	1	0	1	109	2950	2	0	1	116	2931	2	0	1	117					
5QN	2549	1	0	0	100	2712	2	0	1	106	2693	2	0	1	108					
5R	2890	2	0	2	113	3075	2	0	2	120	3054	2	0	2	122					
5W	2879	2	0	1	113	3064	2	0	1	120	3042	2	0	1	122					
28L		30	HDL Lens	3	2816	1	0	1	96	2997	1	0	1	102	3020	1	0	1	101	
				5W	2917	1	0	1	100	3105	1	0	1	106	3084	1	0	1	103	

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LUMINAIRE PERFORMANCE

LED #	Nominal Lumen Package	Nominal Wattage	Lens Options	Distribution	3000K				4000K				5000K							
					Lumen	BUG Rating			lm/w	Lumen	BUG Rating			lm/w	Lumen	BUG Rating			lm/w	
						B	U	G			B	U	G			B	U	G		
24L	7,000	65	No Lens	FR	6754	1	0	1	104	7187	1	0	1	111	7138	1	0	1	110	
				FR-BC	4392	0	0	1	68	4673	0	0	1	72	4641	0	0	1	71	
				2	6571	1	0	2	101	6992	1	0	2	108	6944	1	0	2	107	
				2-BC	3799	0	0	1	58	4042	0	0	1	62	4014	0	0	1	62	
				3	6625	1	0	2	102	7051	1	0	2	108	7002	1	0	2	108	
				3BC	4032	0	0	1	62	4291	0	0	1	66	4261	0	0	1	66	
				4	6788	1	0	2	104	7223	1	0	2	111	7174	1	0	2	110	
				4-BC	4924	0	0	2	76	5239	0	0	2	81	5203	0	0	2	80	
				4W	6699	1	0	2	103	7128	1	0	3	110	7079	1	0	3	109	
				4W-BC	4088	0	0	2	63	4350	0	0	2	67	4321	0	0	2	66	
				5QM	7025	3	0	1	108	7477	3	0	1	115	7425	3	0	1	114	
				5QN	6964	3	0	1	107	7410	3	0	1	114	7323	3	0	1	113	
				5R	7038	3	0	3	108	7489	3	0	3	115	7437	3	0	3	114	
				5W	7011	3	0	2	108	7460	3	0	2	115	7409	3	0	2	114	
				Clear Lens	FR	6432	1	0	1	97	6844	1	0	1	104	6798	1	0	1	105
					FR-BC	4182	0	0	1	63	4450	0	0	1	67	4420	0	0	1	67
					2	6258	1	0	1	95	6659	1	0	2	101	6613	1	0	2	102
					2-BC	3617	0	0	1	55	3849	0	0	1	58	3823	0	0	1	58
		3	6310		1	0	2	96	6714	1	0	2	102	6668	1	0	2	103		
		3-BC	3599		0	0	1	55	3829	0	0	1	59	3803	0	0	1	59		
		4	6465		1	0	2	98	6879	1	0	2	104	6832	1	0	2	105		
		4-BC	4688		0	0	2	71	4990	0	0	2	76	4955	0	0	2	75		
		4W	6380		1	0	2	97	6789	1	0	2	103	6742	1	0	2	104		
		4W-BC	3893		0	0	2	59	4143	0	0	2	63	4115	0	0	2	62		
5QM	6691	3	0		1	101	7119	3	0	1	108	7070	3	0	1	109				
5QN	6632	2	0		1	100	7058	3	0	1	107	7009	3	0	1	108				
5R	6702	3	0	3	102	7131	3	0	3	108	7082	3	0	3	109					
5W	6676	3	0	2	101	7104	3	0	2	108	7055	3	0	2	109					
28L		70	HDL Lens	3	6047	2	0	2	92	6047	2	0	2	92	6236	2	0	2	89	
				5W	6221	2	0	1	94	6619	2	0	1	100	6525	2	0	1	93	

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LUMINAIRE PERFORMANCE

LED #	Nominal Lumen Package	Nominal Published Wattage	Lens Options	Distribution	3000K				4000K				5000K						
					Lumen	BUG Rating			lm/w	Lumen	BUG Rating			lm/w	Lumen	BUG Rating			lm/w
						B	U	G			B	U	G			B	U	G	
56L	10,000	75	No Lens	FR	9315	1	0	1	124	9913	1	0	1	132	9845	1	0	1	131
				FR-BC	6058	0	0	1	81	6445	0	0	1	86	6402	0	0	1	85
				2	9063	2	0	2	120	9644	2	0	2	128	9578	2	0	2	128
				2-BC	5239	0	0	1	70	5575	0	0	1	74	5536	0	0	1	74
				3	9139	2	0	2	125	9725	2	0	2	134	9657	2	0	2	129
				3-BC	5561	0	0	2	74	5877	0	0	2	78	5561	0	0	2	74
				4	9362	1	0	2	124	9362	1	0	2	124	9876	1	0	2	132
				4-BC	6791	0	0	2	90	7226	0	0	2	96	7168	0	0	2	96
				4W	9240	2	0	3	123	9832	2	0	3	131	9765	2	0	3	130
				4W-BC	5639	0	0	2	75	6001	0	0	2	80	5959	0	0	2	79
				5QM	9691	3	0	1	129	10312	3	0	1	137	10240	3	0	1	137
				5QN	9606	3	0	1	128	10222	3	0	1	136	10151	3	0	1	135
			5R	9706	3	0	3	129	10328	3	0	3	137	10258	3	0	3	137	
			5W	9669	4	0	2	129	10289	4	0	2	137	10217	4	0	2	136	
			Clear Lens	FR	8871	1	0	1	117	9760	1	0	1	129	9374	1	0	1	125
				FR-BC	5769	0	0	1	76	6138	0	0	1	81	6096	0	0	1	81
				2	8631	2	0	2	114	9183	2	0	2	121	9121	2	0	2	122
				2-BC	4989	0	0	1	67	5309	0	0	1	71	5272	0	0	1	62
				3	8703	1	0	2	115	9260	2	0	2	122	9197	2	0	2	123
				3-BC	4964	1	0	1	66	5282	1	0	2	70	5245	1	0	2	69
				4	8916	1	0	2	118	9487	1	0	2	125	9423	1	0	2	126
				4-BC	6467	0	0	2	85	6881	0	0	2	91	6834	0	0	2	90
				4W	8799	2	0	3	116	9363	2	0	3	124	9300	2	0	3	124
				4W-BC	5370	0	0	2	72	5714	1	0	2	76	5675	0	0	2	76
5QM	9228	3		0	1	122	9820	3	0	1	130	9752	3	0	1	130			
5QN	9147	3		0	1	121	9734	3	0	1	129	9668	3	0	1	129			
5R	9244	3	0	3	122	9836	3	0	3	130	9769	3	0	3	130				
5W	9208	4	0	2	122	9798	4	0	2	130	9732	4	0	2	130				
68L		80	HD Lens	3	7853	2	0	2	99	8356	2	0	2	106	8299	2	0	2	104
				5W	8080	2	0	2	102	8684	3	0	2	110	8684	3	0	2	109

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LUMINAIRE PERFORMANCE

LED #	Nominal Lumen Package	Nominal Published Wattage	Lens Options	Distribution	3000K				4000K				5000K						
					Lumen	BUG Rating			lm/w	Lumen	BUG Rating			lm/w	Lumen	BUG Rating			lm/w
						B	U	G			B	U	G			B	U	G	
56L	15,000	110	No Lens	FR	13533	1	0	1	125	14399	1	0	2	133	14301	1	0	2	130
				FR-BC	8799	1	0	1	81	9363	1	0	1	86	9300	1	0	1	85
				2	13165	2	0	2	121	14009	2	0	2	129	13913	2	0	2	126
				2-BC	7611	1	0	2	70	8098	1	0	2	75	8042	1	0	2	74
				3	13275	2	0	3	122	14126	2	0	3	130	14030	2	0	3	128
				3-BC	8079	1	0	2	73	8596	1	0	2	78	8538	1	0	2	78
				4	13601	1	0	3	125	14472	1	0	3	133	14373	1	0	3	131
				4-BC	9865	1	0	2	91	10497	1	0	3	97	10425	1	0	3	96
				4W	13422	2	0	3	124	14283	2	0	3	132	14185	2	0	3	129
				4W-BC	8191	1	0	3	75	8715	1	0	3	80	8656	1	0	3	80
				5QM	14077	4	0	2	130	14979	4	0	2	138	14876	4	0	2	135
				5QN	13953	4	0	1	129	14848	4	0	1	137	14747	4	0	1	134
			5R	14100	4	0	4	130	15004	4	0	4	138	14901	4	0	4	135	
			5W	14046	4	0	2	129	14946	4	0	2	138	14844	4	0	3	135	
			Clear Lens	FR	12803	1	0	1	118	13624	1	0	1	126	13531	1	0	1	123
				FR-BC	9298	1	0	1	86	8325	1	0	1	77	8798	1	0	1	81
				2	12455	2	0	2	115	13254	2	0	2	123	13164	2	0	2	120
				2-BC	7200	1	0	1	67	7661	1	0	2	71	7610	1	0	2	70
				3	12560	2	0	3	116	13365	2	0	3	124	13273	2	0	3	121
				3-BC	7163	1	0	2	65	7622	1	0	2	69	7570	1	0	2	69
				4	12868	1	0	3	119	13692	1	0	3	127	13599	1	0	3	124
				4-BC	9333	1	0	2	86	9931	1	0	2	92	9864	1	0	2	90
				4W	12699	2	0	3	117	13513	2	0	3	125	13420	2	0	3	122
				4W-BC	7750	1	0	3	72	8246	1	0	3	76	8190	1	0	3	76
5QM	13318	3		0	2	123	14172	4	0	2	131	14075	4	0	2	128			
5QN	13202	3		0	1	122	14048	4	0	1	130	13951	4	0	1	127			
5R	13341	4	0	4	123	14195	4	0	4	131	14099	4	0	4	128				
5W	13290	4	0	2	123	14141	4	0	2	131	14044	4	0	2	128				
68L		115	HD Lens	3	11577	2	0	2	102	12320	2	0	2	109	12236	2	0	2	106
				5W	11912	3	0	2	105	12676	3	0	2	112	12588	3	0	2	109

Kim Lighting reserves the right to change specifications without notice.

LUMINAIRE PERFORMANCE

LED #	Nominal Lumen Package	Nominal Published Wattage	Lens Options	Distribution	3000K					4000K					5000K				
					Lumen	BUG Rating			lm/w	Lumen	BUG Rating			lm/w	Lumen	BUG Rating			lm/w
						B	U	G			B	U	G			B	U	G	
56L	17,000	140	No Lens	FR	15323	2	0	2	111	16306	2	0	2	118	16194	2	0	2	116
				FR-BC	9964	1	0	1	72	10603	1	0	1	77	10530	1	0	1	76
				2	14897	2	0	2	108	15852	2	0	2	115	15743	2	0	2	112
				2-BC	8618	1	0	2	63	9169	1	0	2	67	9107	1	0	2	66
				3	15032	2	0	3	109	15996	2	0	3	116	15886	2	0	3	113
				3-BC	9147	1	0	2	65	9733	1	0	2	70	9667	1	0	2	69
				4	15400	1	0	3	112	16387	1	0	4	119	16275	1	0	4	116
				4-BC	11170	1	0	3	81	11886	1	0	3	86	11804	1	0	3	86
				4W	15198	2	0	4	110	16173	3	0	4	117	16062	3	0	4	115
				4W-BC	9275	1	0	3	67	9869	1	0	3	72	9801	1	0	3	71
				5QM	15939	4	0	2	116	16962	4	0	2	123	16845	4	0	2	120
				5QN	15801	4	0	1	115	16813	4	0	1	122	16698	4	0	1	119
			5R	15966	4	0	4	116	16990	4	0	4	123	16874	4	0	4	121	
			5W	15906	4	0	3	115	16925	4	0	3	123	16808	4	0	3	120	
			Clear Lens	FR	14541	1	0	2	105	15473	2	0	2	111	15367	2	0	2	110
				FR-BC	9456	1	0	1	68	10061	1	0	1	72	9993	1	0	1	72
				2	14146	2	0	2	102	15053	2	0	2	108	14950	2	0	2	107
				2-BC	8178	1	0	2	59	8702	1	0	2	63	8642	1	0	2	62
				3	14265	2	0	3	103	15179	2	0	3	109	15076	2	0	3	108
				3BC	8136	1	0	2	58	8657	1	0	2	62	8598	1	0	2	61
				4	14614	1	0	3	105	15551	1	0	3	112	15445	1	0	3	110
				4-BC	10600	1	0	3	76	11279	1	0	3	81	11203	1	0	3	81
4W	14423	2		0	3	104	15347	2	0	4	111	15243	2	0	4	109			
4W-BC	8802	1		0	3	63	9365	1	0	3	67	9302	1	0	3	67			
5QM	15126	4		0	2	109	16095	4	0	2	116	15985	4	0	2	114			
5QN	14994	4		0	1	108	15955	4	0	1	115	15846	4	0	1	113			
5R	15152	4	0	4	109	16122	4	0	4	116	16012	4	0	4	114				
5W	15094	4	0	3	109	16061	4	0	3	116	15951	4	0	3	114				
68L		115	HD Lens	3	13240	2	0	2	89	13992	3	0	3	95	13897	3	0	3	93
				5W	13623	3	0	2	92	14396	3	0	2	97	14298	3	0	2	95

Electrical Characteristics										Dimming						
System Watts	Drive Current	Line Voltage		Amps AC						Min. Power Factor	Max THD (%)	Dimming Range	Source current out		Absolute voltage	
		VAC	Hz	120	208	240	277	347	480				Min	Max	Min	Max
25	298mA	120-480	50/60	0.21	0.12	0.10	0.09	0.07	0.05	>0.9	20	10% to 100%	0mA	1mA	0V	10V
30	298mA			0.25	0.14	0.13	0.11	0.09	0.06							
65	800mA			0.54	0.31	0.27	0.23	0.19	0.14							
70	700mA			0.58	0.34	0.29	0.25	0.20	0.15							
75	420mA			0.63	0.36	0.31	0.27	0.22	0.16							
80	350mA			0.67	0.38	0.33	0.29	0.23	0.17							
110	600mA			0.92	0.53	0.46	0.40	0.32	0.23							
115	500mA			0.96	0.55	0.48	0.42	0.33	0.24							
140	750mA			1.17	0.67	0.58	0.51	0.40	0.29							
150	625mA			1.25	0.72	0.63	0.54	0.43	0.31							

TM-21 LIFETIME CALCULATION

Projected Lumen Maintenance (25°C / 77°F)						
HOURS	0	25,000	36,000	50,000	100,000	Reported L70
Projected Lumen Maintenance	100%	97%	95%	93%	87%	> 60,000 hrs

Kim Lighting reserves the right to change specifications without notice.

SPECIFICATIONS

Housing:

- Low copper aluminum alloy die-casting is designed as one-piece with internal cooling fins.
- Solid, cast aluminum wall creates a thermal barrier between the optical and electrical compartments.
- Molded silicone gasket throughout insures the sealing between the two compartments and provides ingress protection.
- Housing is designed with integral LED heat sink utilized for thermal transfer and for securing the location of each LED module.
- IK09 rated enclosure protects electrical equipment against external mechanical impacts.

Lens Frame:

- One-piece low copper aluminum alloy die-cast is secured to housing with 6 screws.

Backlight Control

- Optional Backlight Control on each LED module to completely control unwanted backlight.

Lens

One-piece flat glass lens slips secure with clips. Extra silicone gasketing is provided to retain a clear optical compartment.

Optical Module:

- LEDs shall be mounted to a metal printed circuit board assembly (MCPCB).
- Optical lenses shall be clear injection molded PMMA acrylic.
- Each MCPCB and optic shall be sealed to the diecast housing and sealed with a continuous one piece injection molded silicone rubber gasket.
- Patent Pending design of optical array shall independently shield each LED optic across the length of the aperture.
- Optional fixture finish optical surfaces shall not exceed BUG ratings of the standard white finish and shall be greater than or equal to the delivered lumens of the optional matte black optical surface finish.

Electrical Components

- Standard programmable driver allows for programmable drive current settings.
- Electrical components are strategically located in the driver gear compartment with a molded silicon grommet seal to provide separation from the optical chamber.
- Maximum lightning surge current 20KA with thermally protected varistor technology. Surge suppression is series circuited preventing

total fixture failure. ANSI/IEEE C62.41 Category C High.

- Open circuit fault will turn off the luminaire in order to protect the sensitive electronics and acts as a signal for maintenance.
- Programmable Driver is rated for -40°C starting.
- "Thermal Shield", primary side, thermister provides protection for the sustainable life of electronic components.

Dimming:

- Dimming range from 100% to 10% through the use of the standard 0-10V interface on the programmable driver.
- Modular wiring harness in the service area provides user access to the dimming circuitry.
- Dimming circuitry compatible with 0-10V, user-defined control devices.
- Optional factory programmed dimming profile.



Fusing:

SF for 120, 277, and 347 Line volts
 DF for 208, 240, and 480 Line volts
 High temperature fuse holders factory installed inside the fixture housing.
 Fuse is included.

Finish:

Fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) polyester powdercoat.
 Standard colors include (BLS) Black Gloss Smooth, (BLT) Black Matte Textured, (DBS) Dark Bronze Smooth, (GTT) Graphite Matte Textured, (LGS) Light Gray Smooth, (PSS) Platinum Silver Smooth, (VGS) Verde Green Smooth, (WHS) White Gloss Smooth, and (CC) Custom Color (Include RAL#).

Certifications and Listings:

- IUL 1598 Standard for Luminaires.
- IUL 8750 Standard for Safety for Light
- IEmitting Diode (LED) Equipment for use in Lighting Products.
- ICSA C22.2#250.0 Luminaires.
- ANSI C136.31-2010 Vibration tested and compliant 1.5G and 4G reference page 9
- IROHS compliant.

- IIP66 rated.
- IIEC 66262 Mechanical Impact Code IK09.
- IDA approved, 3000K and warmer CCTs only.

CAUTION:

Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.

WARRANTY:

For full warranty see: <http://www.hubbellighting.com/resources/warranty>

Kim Lighting reserves the right to change specifications without notice.

CONTROLS

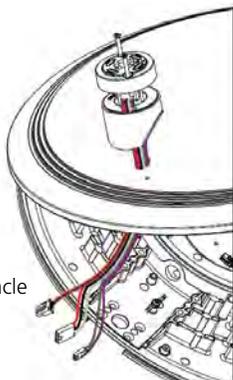
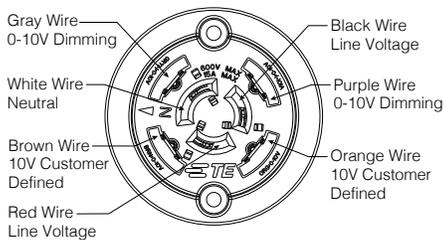
Photocell Receptacle

7PR

Fully gasketed and wired 7-pin receptacle option. Easy access location above the electrical compartment. 7-pin construction allows for a user-defined interface and provides a controlled definition of operational performance. ANSI twist-lock control module by-others.

Standard customer operation modes:

1. Traditional on/off photoelectric control.
2. 5-pin wireless photoelectric control for added dimming feature.
3. 7-pin wireless photoelectric control for dimming and additional I/O connections for customer use.



7-Pin receptacle placement

Wireless Controls

wiSCAPE™

Hubbell Control Solution's wiSCAPE™ wireless control modules allow an individual fixture to be managed, monitored and measured. The modules communicate securely over a robust certified meshed radio signal. The wiSCAPE modules provide on/off/dim control, external device input, alerts and metering.

WIR-RME-L

wiSCAPE External Module, 120-480V, 1000ft range (LOS), Internal Photocell, 1 Digital Input, Compatible with the A-25-7H option

SiteSync™¹

SiteSync™ wireless control system for reduction in energy and maintenance cost while optimizing light quality 24/7. See ordering information or visit www.hubbellighting.com/products/sitesync for more details.

Dimming WASP Occupancy Sensor WSP

The Dimming WASP Outdoor Occupancy Sensor is specifically designed to provide 0-10VDC output for the control of dimmable fixtures. Easy to use dipswitches allow the user to adjust sensor time delay and sensitivity as well as set unoccupied and occupied dimming levels. Sensors also feature a daylight sensor for ON/OFF control of fixtures when there is sufficient natural light. Visit https://hubbellcdn.com/installationmanuals/2102B_Dimming_WASP_Install.pdf for more details.

Pole Mounted

Round Pole-Mounted Occupancy Sensor up to 16'. Select voltage and finish color.

SCL-R

Round Pole-Mounted Occupancy Sensor up to 16' - an outdoor occupancy sensor with 0-10V interface dimming control that mounts directly to the pole. Wide 360° pattern. Module colors are available in Black, Gray, and White. Module is cut for round pole mounting. Pole diameter is needed upon order. Poles to be drilled in the field will be provided with installation instructions.

Ordering Example: SCL-R44/277²/BL³

Square Pole-Mounted Occupancy Sensor up to 16'. Select voltage and finish color.

SCL-S

Square Pole-Mounted Occupancy Sensor up to 16' - an outdoor occupancy sensor with 0-10V interface dimming control that mounts directly to the pole. Wide 360° pattern. Module colors are available in Black, Gray, and White. Module is cut for square pole mounting. Pole diameter is needed upon order. Poles to be drilled in the field will be provided with installation instructions.

Ordering Example: SCL-L/277²/BL³

Round Pole-Mounted Occupancy Sensor 16' to 30'. Select voltage and finish color.

SCH-R

Round Pole-Mounted Occupancy Sensor: 16' to 30' - an outdoor occupancy sensor with 0-10V interface dimming control that mounts directly to the pole. Wide 360° pattern. Module colors are available in Black, Gray, and White. Module is cut for round pole mounting. Pole diameter is needed upon order. Poles to be drilled in the field will be provided with installation instructions.

Ordering Example: SCH-R4⁴/277²/BL³

Square Pole-Mounted Occupancy Sensor 16' to 30'. Select voltage and finish color.

SCH-S

Square Pole-Mounted Occupancy Sensor: 16 to 30' - an outdoor occupancy sensor with 0-10V interface dimming control that mounts directly to the pole. Wide 360° pattern. Module colors are available in Black, Gray, and White. Module is cut for round pole mounting. Pole diameter is needed upon order. Poles to be drilled in the field will be provided with installation instructions.

Ordering Example: SCH-S/277²/BL³

AstroDIM

AstroDIM provides multi-stage night-time power reduction based on an internal timer referenced to the power on/off time. There is no need for an external control infrastructure. The unit automatically performs a dimming profile based on the predefined scheduled reference to the midpoint, which is calculated based on the power on/off times.

¹PRECOMMISSIONED SITESYNC ORDERING INFORMATION: When ordering a fixture with the SiteSync lighting control option, additional information will be required to complete the order. The SiteSync Commissioning Form or alternate schedule information must be completed. This form includes Project location, Group information, and Operating schedules. For more detailed information please visit www.HubbellLighting.com/products/sitesync or contact Hubbell Lighting tech support at (800) 345-4928.

SiteSync fixtures with occupancy sensor (SWPM) require the mounting height of the fixture for selection of the lens.

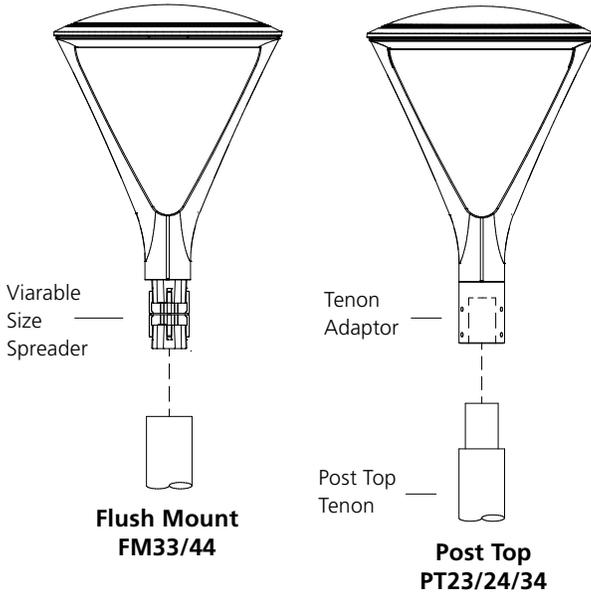
Examples:

SiteSync only : UR20/56L-75/3K7/UNV/ASQ/BL/SWP

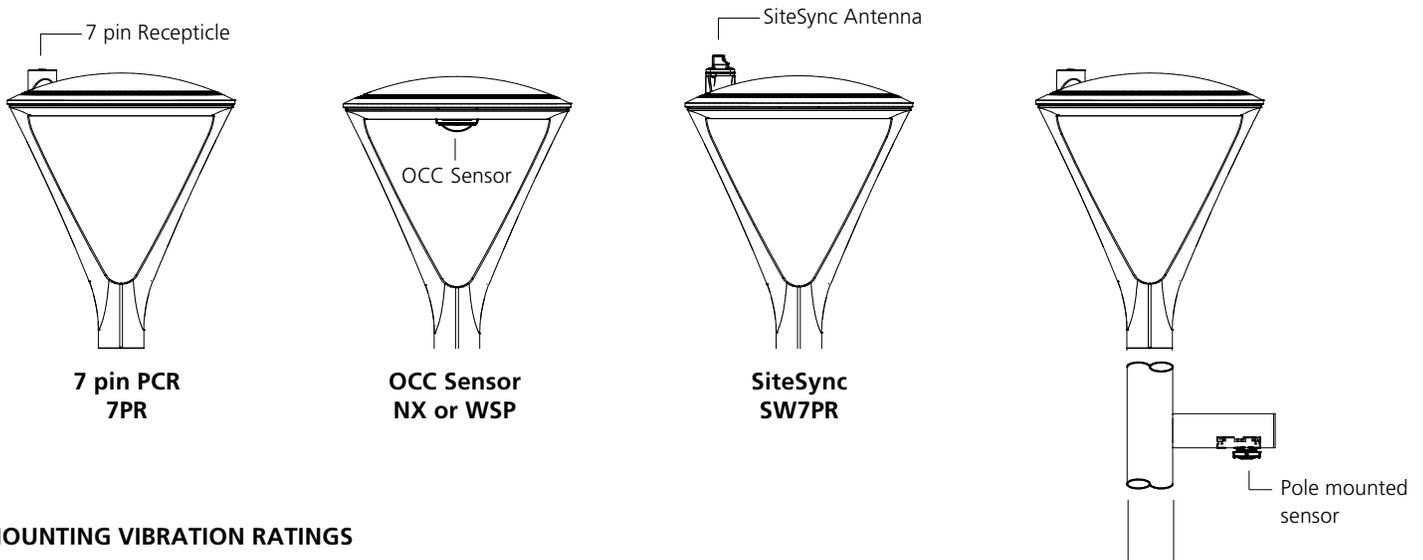
SiteSync with Motion Control: UR20/56L-75/3K7/UNV/ASQ/BL/SWPM-40F

²Voltage, ³Color, ⁴Pole Diameter,

MOUNTING INSTALLATION



SENSOR PLACEMENT



MOUNTING VIBRATION RATINGS

UR 20 Arm		UR28 Arm		UR 20 Post Top		UR 28 Post Top	
Ordering Code	Rating	Ordering Code	Rating	Ordering Code	Rating	Ordering Code	Rating
ASQ	4G	ASQ	4G	FM33	4G	FM44	1.5G
A34	4G	A34	4G	FM44	1.5G	FM45	1.5G
A46	4G	A46	4G	PT23	4G	PT24	1.5G
MAF	4G	MAF	4G	PT24	4G	PT34	1.5G
				PT34	1.5G	PT25	1.5G
						PT35	1.5G

For the 4 G test, ANSI C136.31-2010 Vibration is tested to comply with Vibration Test Level 1 Normal Applications, Vibration Test Level 2 Bridge/Overpass Applications, and Vibration Test Level 3

For the 1.5G test, ANSI C136.31-2010 Vibration is tested to comply with Vibration Level 1 Bridge/Overpass Applications

Kim Lighting reserves the right to change specifications without notice.

DESCRIPTION

The CSL LED striplight brings together an economical price point and high performance available in 4ft and 8ft lengths.

FEATURES

- 4,000 and 8,000 nominal lumens
- 54,000 hour LEDs at L70 for reduced maintenance
- Up to 112 lumens per watt
- Choice of two color temperatures
- 0-10V dimming, standard
- Fully assembled for quick installation
- Frosted acrylic lens
- Wide range of applications
- Surface mount on wall or ceiling
- Universal voltage (120-277V)
- 80+ CRI
- DLC® (DesignLights Consortium) Qualified - see www.designlights.org



tradeSELECT™



STANDARDS, CERTIFICATION AND COMPLIANCE

All luminaires are built to UL1598 standards and bear appropriate UL labels. Damp location label standard. DLC® (DesignLights Consortium) Qualified. Please refer to the DLC website for specific product qualifications at www.designlights.org.

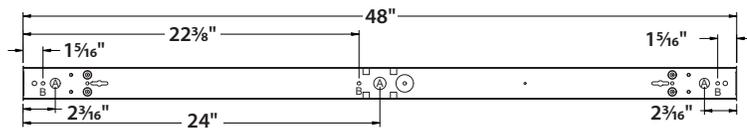
WARRANTY

Five year warranty. Terms and conditions apply.

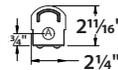
ORDERING GUIDE

Catalog Number	Description	Lumens	Watts	LPW	Qty on Pallet
CSL4-4035	4ft LED Striplight, 4,000 Lumens, 3500K, 0-10V dimming	4231	40.2	105	120
CSL4-4040	4ft LED Striplight, 4,000 Lumens, 4000K, 0-10V dimming	4517	40.2	112	120
CSL8-8035	8ft LED Striplight, 8,000 Lumens, 3500K, 0-10V dimming	8460	80.5	105	120
CSL8-8040	8ft LED Striplight, 8,000 Lumens, 4000K, 0-10V dimming	9036	80.5	112	120

DIMENSIONS

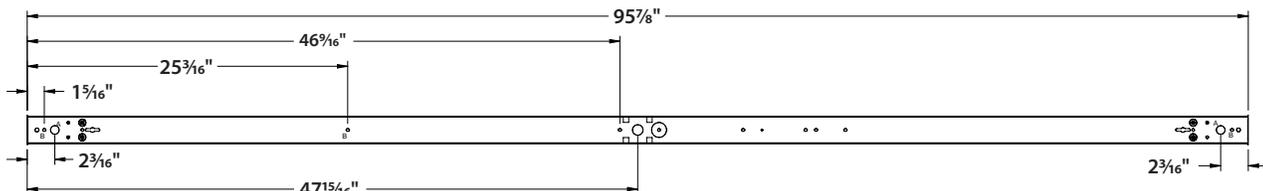


A - 7/8" Diameter Knockout
B - 5/32" x 1/4" Hole

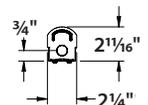


Accessories (Order Separately)

GLH5 5' adjustable cable for suspension mount



A - 7/8" Diameter Knockout
B - 5/32" x 1/4" Hole



PHOTOMETRIC DATA

Test #17614 Test Date 2/15/2017

LUMINAIRE DATA

Luminaire	CSL4-4035 tradeSELECT® CSL, Striplight 48" x 2.25" LED striplight with opal lens
Ballast	SL38-1900
Ballast Factor	1.00
Lamp	LED
Fixture Lumens	4231
Watts	40.24
Mounting	Recessed
Shielding Angle	0° = 90 90° = 90
Spacing Criterion	0° = 1.25 90° = 1.26
Luminous Opening in Feet	Length: 4.00 Width: 0.17 Height: 0.08

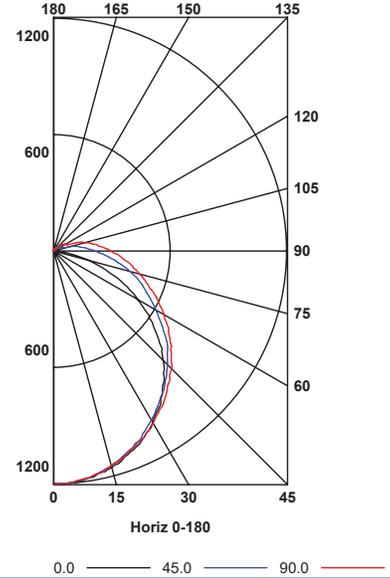
ZONAL LUMEN SUMMARY

Zone	Lumens	% Lamp	% Fixt.
0-30	935	22.1	22.1
0-40	1536	36.3	36.3
0-60	2768	65.4	65.4
0-90	3902	92.2	92.2
0-180	4231	100.0	100.0

ENERGY DATA

Total Luminaire Efficiency	100.0%
Total Lumens per Watt	105
IESNA RP-1-2004 Compliance	Non-Compliant
Comparative Yearly Lighting Energy Cost per 1000 Lumens	\$2.26 based on 3000 hrs. and \$0.08 per KWH

INDOOR CANDELA PLOT



PHOTOMETRIC DATA

Test #17615 Test Date 2/15/2017

LUMINAIRE DATA

Luminaire	CSL4-4040 tradeSELECT® CSL, Striplight 48" x 2.25" LED striplight with opal lens
Ballast	SL38-1900
Ballast Factor	1.00
Lamp	LED
Fixture Lumens	4517
Watts	40.24
Mounting	Recessed
Shielding Angle	0° = 90 90° = 90
Spacing Criterion	0° = 1.25 90° = 1.26
Luminous Opening in Feet	Length: 4.00 Width: 0.17 Height: 0.08

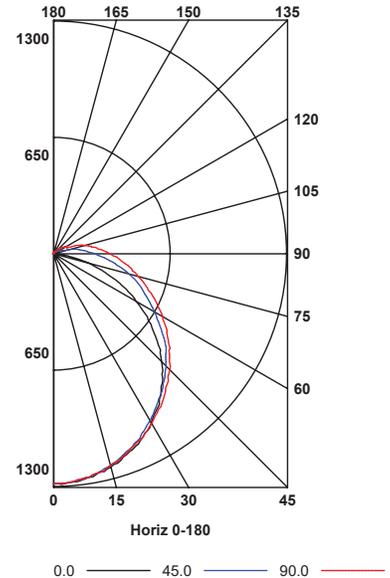
ZONAL LUMEN SUMMARY

Zone	Lumens	% Lamp	% Fixt.
0-30	998	22.1	22.1
0-40	1641	36.3	36.3
0-60	2957	65.5	65.5
0-90	4167	92.2	92.2
0-180	4517	100.0	100.0

ENERGY DATA

Total Luminaire Efficiency	100.0%
Total Lumens per Watt	112
IESNA RP-1-2004 Compliance	Non-Compliant
Comparative Yearly Lighting Energy Cost per 1000 Lumens	\$2.12 based on 3000 hrs. and \$0.08 per KWH

INDOOR CANDELA PLOT



LED



PROJECT INFORMATION

Project Name _____

Type _____

Catalog No. _____

Date _____

FEATURES

- Available in 4' length
- Narrow housing design for applications with limited space
- Long life 60,000 hour LEDs at L80 for reduced maintenance
- Four LED color choices
- IP65, 67 all models
- IP66 all models with standard polyacetal (POM) latches
- Fiberglass housing with F1 weatherability rating, standard
- Wet label standard
- UL Sanitation certified to NSF standards
- Gasket is non-porous to ensure seal
- Impact modified acrylic lens equivalent to 100% DR
- Lens firmly secured with captive tamper resistance ready polyacetal latches
- Stainless steel latching optional
- Removable gear tray electrical access
- Includes surface mounting brackets
- Operates from -20°C to +50°C as standard
- Optional elevated ambient on most models
- DLC® (DesignLights Consortium) Qualified - see www.designlights.org
- Five year warranty (Terms and Conditions apply)

CONSTRUCTION

Housing is formed from UL 5VA fiberglass. F1 weatherability rating, suitable for indoor or outdoor use with respect to exposure to UV light. Pour-in-place non-porous gasketing assures seal. LED affixed to removable gear tray. 8 Latches per 4' length. Latches are provided tamper resistance ready, tamper resistant screws by others. Latches are standard polyacetal (POM), optional in stainless steel. Access openings are provided for electrical connection.

SHIELDING

Lineal ribbed frosted acrylic lens impact modified equivalent to 100% DR; modification adds flexibility to reduce impact breakage compared to standard acrylic formulations.

FINISH

White painted parts are treated with a five-stage phosphate bonding process and finished with high reflectance baked enamel.

ELECTRICAL

Long-life LEDs are rated for 60,000 hours at L80 lumen maintenance. Driver options include fixed output for on/off function or continuous 0-10V dimming. QR code label affixed to housing for easy traceability.

MOUNTING

Use flexible conduit only.

CERTIFICATION

All luminaires are built to UL1598 and 2108 standards, and bear appropriate CSA labels. Ingress protection IP65, IP67 standard on all models. IP66 on certain models.. UL Sanitation Certified per NSF Standards. Wet location labeling is standard. DLC® (DesignLights Consortium) Qualified. Please refer to the DLC website for specific product qualifications at www.designlights.org. The DTS, Dimming Bypass Module, is for emergency circuit control loads including sensors and wireless systems listed to UL924. See page 3 for wiring diagram. [Link to Dimming Bypass Module Specification sheet.](#)

WARRANTY

Five year warranty (Terms and Conditions Apply).

ORDERING INFORMATION

EXAMPLE LXEN4-35LW-RFA-EDU

LXEN		4	-	-	RFA	-	U	-
MODEL	SIZE	COLOR TEMP	LUMEN OUTPUT	LENS	DRIVER	VOLTAGE	OPTIONS	
LXEN LED Narrow Enclosed and Gasketed	4 4'	30 3000K 35 3500K 40 4000K 50 5000K	XW Extra Low Watt LW Low Watt	RFA Ribbed Frosted Acrylic ¹	E Fixed Output ED 0-10V Dimming	U 120V-277V	GLR Fast Blow Fuse DTS Dimming Bypass Module ² SSL Stainless Steel Tamper Resistance Ready Latches TP Tamper Proof Latches F3C8W 3 Wire 8' Wet Cord F3C15W 3 Wire 15' Wet Cord SWH Single Wet Hub ½" NPT Hub DWH Dual Wet Hub ½" NPT Hub	

PRODUCT AVAILABILITY				
Size	Lumen Package	Nominal Lumen Range (DFA Lens)	Nominal Watts	Lumens/Watt
4'	XW	2000 - 2200	18	111 - 122
	LW	3800 - 4300	37	102 - 116

Nominal lumen range represents 3000K through 5000K. Lumens vary according to color temperatures and other factors. See specific photometric test(s).

¹ Standard impact resistant equivalent to 100% DR.

² For emergency circuit control loads including sensors and wireless systems listed to UL924. Only available with 0-10V driver. See page 3 for wiring diagram

Test 15629 Test Date 10/8/15

PHOTOMETRIC DATA

LUMINAIRE DATA

Luminaire	LXEN4-40XW-RFA-EU LXEN LED Narrow Enclosed and Gasketed, Extreme Environment 7" x 51" LED with Ribbed Frosted Acrylic Diffuser
Ballast	XIO20C056V054BST1
Ballast Factor	1.00
Lamp	LED
Fixture Lumens	2095
Watts	17.70
Mounting	Surface
Shielding Angle	0° = 90 90° = 90
Spacing Criterion	0° = 1.19 90° = 1.18
Luminous Opening in Feet	Length: 4.25 Width: 0.31 Height: 0.17

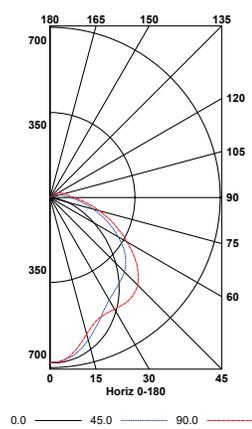
ZONAL LUMEN SUMMARY

Zone	Lumens	% Lamp	% Fixt.
0-30	484	23.1	23.1
0-40	789	37.6	37.6
0-60	1435	68.5	68.5
0-90	1964	93.7	93.7
0-180	2095	100.0	100.0

ENERGY DATA

Total Luminaire Efficiency	100%
Total Lumens per Watt	118
ANSI/IESNA RP-1-2004 Compliance	Noncompliant
Comparative Yearly Lighting Energy Cost per 1000 Lumens	\$2.07 based on 3000 hrs. and \$0.08 per KWH

INDOOR CANDELA PLOT



Test 15.01582 Test Date 8/27/15

LUMINAIRE DATA

Luminaire	LXEN4-40LW-RFA-EU LXEN LED Enclosed and Gasketed, Extreme Environment 7" x 51" LED with Ribbed Frosted Acrylic Diffuser
Ballast	XIO40C110V054BPT1
Ballast Factor	1.00
Lamp	LED
Fixture Lumens	4085
Watts	36.60
Mounting	Surface
Shielding Angle	0° = 90 90° = 90
Spacing Criterion	0° = 1.19 90° = 1.26
Luminous Opening in Feet	Length: 4.13 Width: 0.29 Height: 0.00

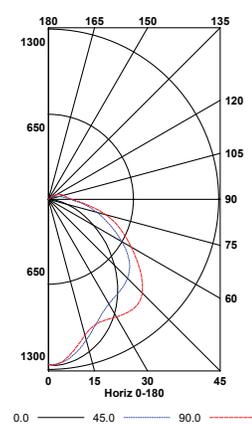
ZONAL LUMEN SUMMARY

Zone	Lumens	% Lamp	% Fixt.
0-30	900	22.0	22.0
0-40	1483	36.3	36.3
0-60	2746	67.2	67.2
0-90	3822	93.5	93.5
0-180	4085	100.0	100.0

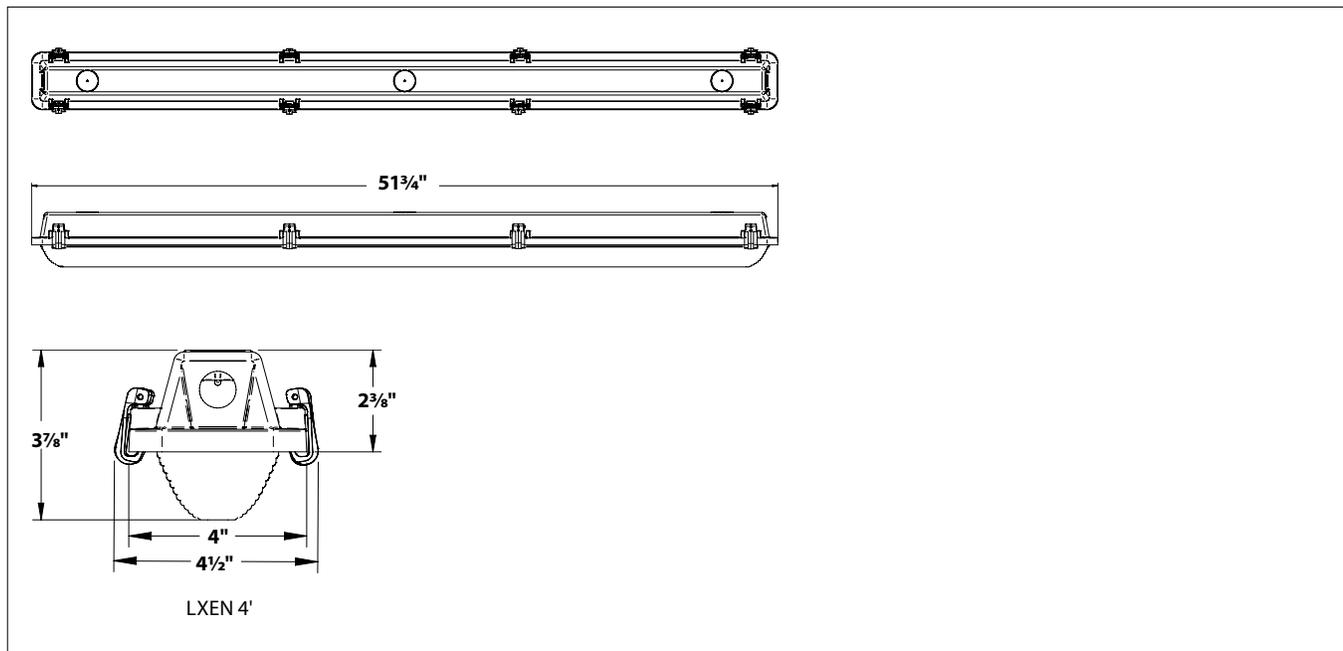
ENERGY DATA

Total Luminaire Efficiency	100%
Total Lumens per Watt	112
ANSI/IESNA RP-1-2004 Compliance	Noncompliant
Comparative Yearly Lighting Energy Cost per 1000 Lumens	\$2.18 based on 3000 hrs. and \$0.08 per KWH

INDOOR CANDELA PLOT

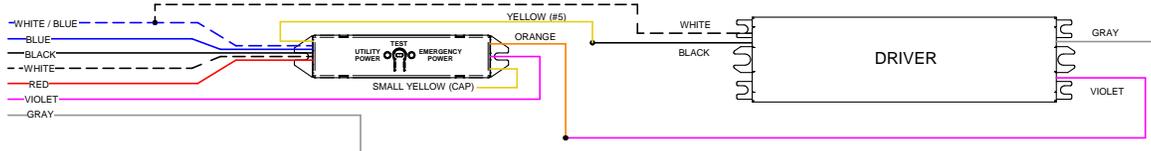


DIMENSIONAL DATA



NOTE: All dimensions are in inches; dimensions and specifications are subject to change without notice. Please consult factory or check sample for verification.

DTS WIRING DIAGRAM (0-10V DIMMING DRIVER SHOWN)



WHITE/BLUE	Emergency Neutral
BLUE	Emergency Line
BLACK	Utility Line (Unswitched Hot)
WHITE	Utility Neutral
RED	Switched Hot
VIOLET	Dimming
GRAY	Dimming

Attachment H – Splash Pad Design



Bakken Park Splashpad

WISCONSIN, USA

OUR WATER PLAY SPACES ARE
MORE THAN ENTERTAINMENT.

THEY BECOME A FOCAL POINT OF YOUR SITE, A PLACE
WHERE VISITING BECOMES A **RITUAL.**

THEY FOSTER **GROWTH, IMAGINATION,**
INTERACTIONS.

ENDLESS **THRILLS.**

MEMORIES.

**A UNIQUELY UNFORGETTABLE
EXPERIENCE, FOR ALL.**

LET'S PLAY!

IMMERSE

THRILL

REFRESH

COMPETE

EXPLORE

DISCOVER

IMAGINE





SPLASHPAD®
VIEW 1

Bakken Park Splashpad, WI
Version E - 31141







SPLASHPAD®
VIEW 3

Bakken Park Splashpad, WI
Version E - 31141





SPLASHPAD®
VIEW 4

Bakken Park Splashpad, WI
Version E - 31141





SPLASHPAD®
VIEW 5

Bakken Park Splashpad, WI
Version E - 31141





PLAY VALUE PLANNING

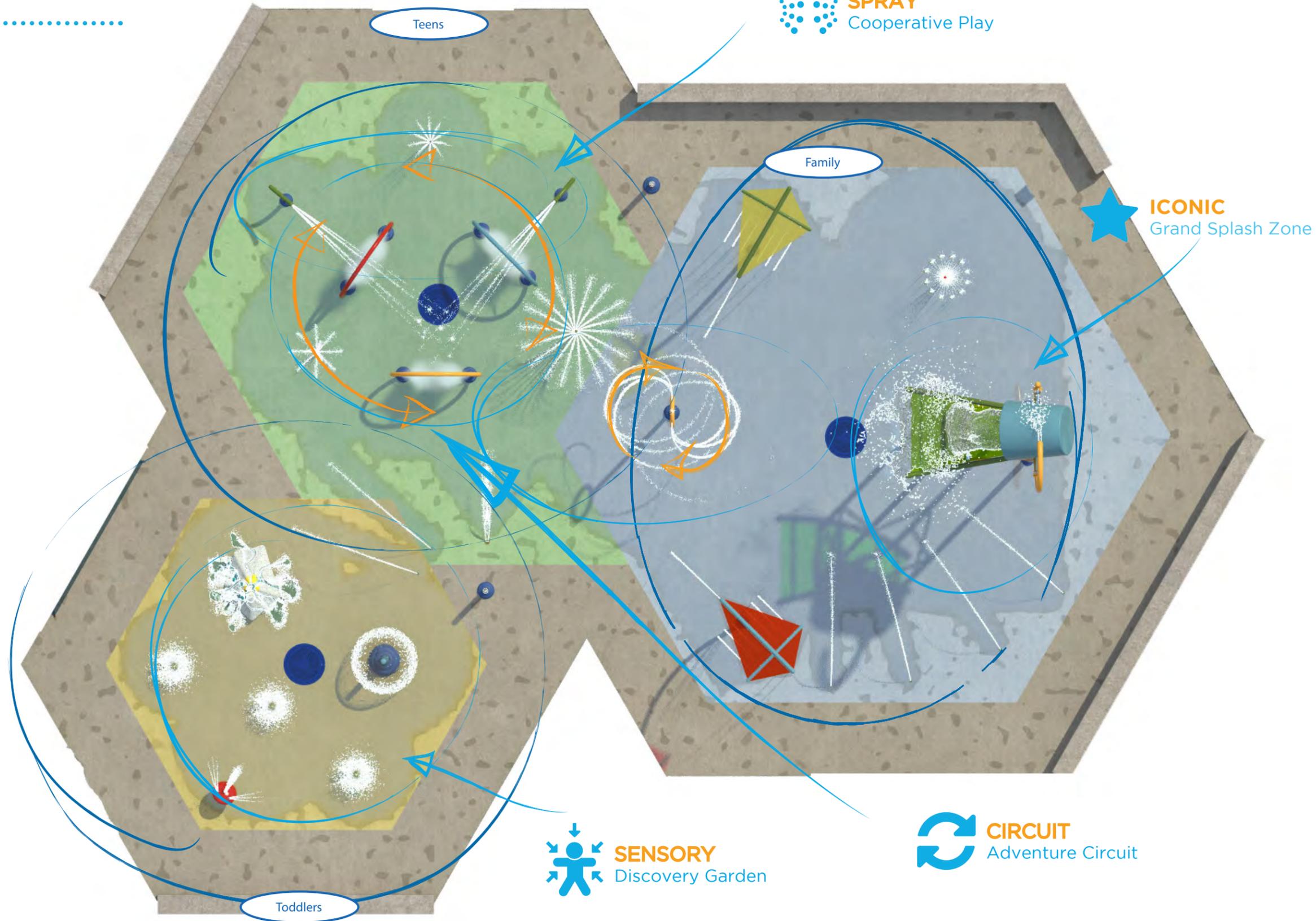


SENSORY
Stimulates & develops multiple sense experiences

SPRAY
Encourages teamwork & competition

CIRCUIT
Encourages physical development

ICONIC
Features interactive fun & serves as a social gathering place



SENSORY
Discovery Garden

CIRCUIT
Adventure Circuit

Bakken Park Splashpad, WI
Version E - 31141



SPLASHPAD® COMPONENTS

Total area: 3607ft² (335m²)

Spray area: 2328ft² (216m²)

REF	PRODUCT	QTY	GPM	LPM
1	Alto N°2 VOR 7131	1	22.5	85.2
2	Aqua Dome N°1 VOR 0555	1	14	53
3	Bollard Activator N°3 VOR 0611	2	0	0
4	Directional Jet N°1 VOR 0305	6	18	68.1
5	Fountain Spray N°1 VOR 7513	1	5	18.9
6	Geyser VOR 0301	1	7.5	28.4
7	Small Kite VOR 8732	2	27	102.2
8	Playsafe Drain N°1 VOR-1001.4000	3	0	0
9	Side Winder VOR 7518	1	6.5	24.6
10	Spray Loop VOR 0519	3	22.5	85.2
11	Sunspray N°1 VOR 7578	1	12.5	47.3
12	Super Splash N° 2 VOR 0130	1	31.5	119.2
13	Team Spray N°2 VOR 8061	1	48	181.7
14	Tube N°1 VOR 0220	2	15	56.8
15	Water Jelly N°1 VOR 7010	3	18	68.1
16	Waterbug N°2 VOR 7581	1	6	22.7
17	Wave VOR 0327	1	5.5	20.8
TOTAL WATER FLOW		QTY	GPM	LPM
		31	259.5	982.2

Note:
 Seat wall length : 103 ft
 Shade dimensions : L 12 ft x W 12 ft x H 12 ft
 Seat wall & shade are not for construction, conceptual only





**A CLEAR
SOURCE
OF
FUN**

Attachment I – CSM

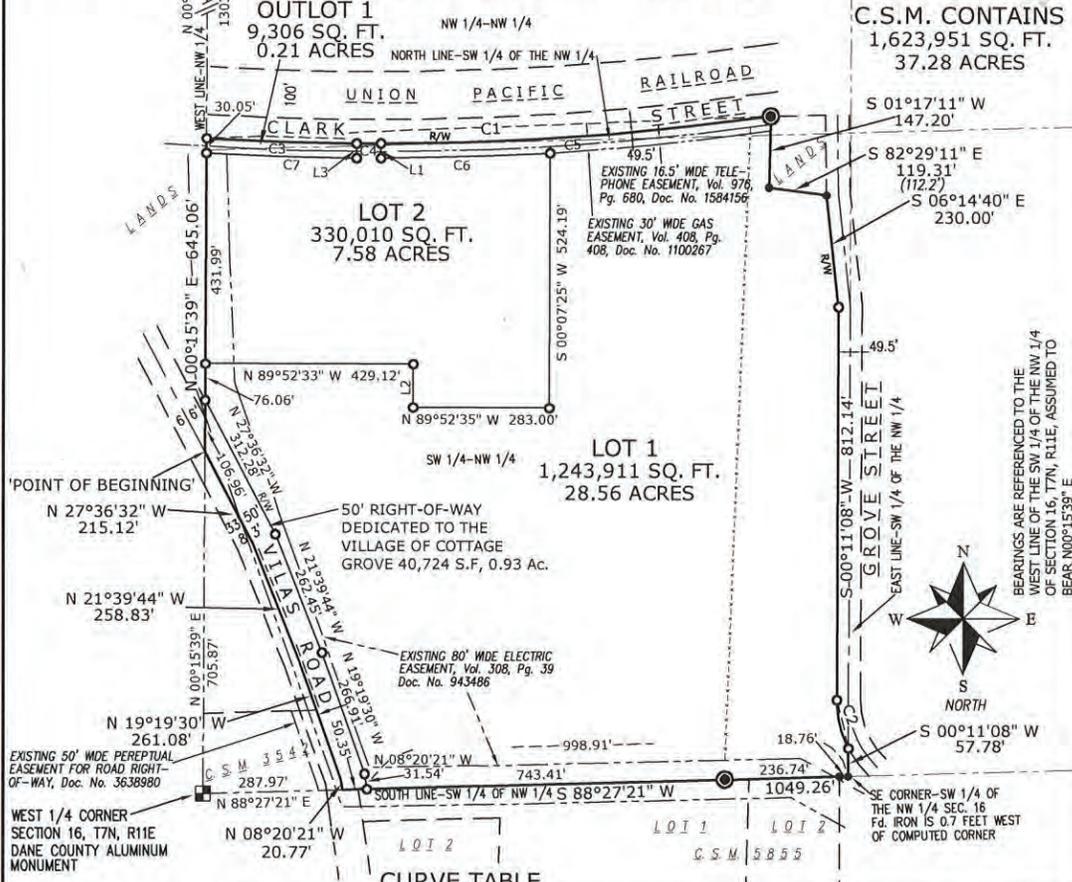
CERTIFIED SURVEY MAP

LOCATED IN THE NW 1/4 OF THE NW 1/4 AND THE SW 1/4 OF THE
NW 1/4, IN SECTION 16, T7N, R11E, IN THE VILLAGE OF COTTAGE GROVE,
DANE COUNTY, WISCONSIN

NORTHWEST 1/4 CORNER
SECTION 16, T7N, R11E
2" IRON PIPE



SCALE : ONE INCH = THREE HUNDRED FEET



CURVE TABLE

CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1	1171.88'	5829.08'	N 87°42'48" E	1169.91'	11°31'08"
C2	104.18'	215.00'	S 13°41'45" E	103.16'	27°45'46"
C3	310.18'	5829.08'	N 88°03'06" W	310.14'	03°02'56"
C4	50.00'	5829.08'	S 89°49'18" E	50.00'	00°29'29"
C5	811.70'	5829.08'	N 85°56'36" E	811.05'	07°58'43"
C6	351.28'	5859.08'	N 88°12'56" E	351.23'	03°26'07"
C7	310.25'	5859.08'	S 88°03'39" E	310.21'	03°02'02"

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 00°07'25" W	30.00'
L2	N 00°07'25" E	90.38'
L3	N 00°07'25" E	30.00'

LEGEND

- 3/4" SOLID IRON ROD FOUND
- ⊙ IRON PIPE FOUND
- 3/4"x18" SOLID IRON ROD SET
1.13 Lbs./LINEAL FOOT.
- () INDICATES RECORDED AS
DISTANCES ARE MEASURED TO THE
NEAREST HUNDRETH OF A FOOT.

SURVEYED FOR:
WISCONSIN RUGBY CLUB
OWNER:
VILLAGE OF COTTAGE GROVE
221 E. COTTAGE GROVE ROAD
COTTAGE GROVE, WI 53527

SURVEYED BY:
ISTHMUS SURVEYING, LLC
2146 OAKRIDGE AVENUE
MADISON, WI 53704
(608) 244.1090
www.isthmussurveying.com

MAP NO. _____
DOCUMENT NO. _____
VOLUME _____ PAGE _____



PLANNING STAFF REPORT

MEMO DATE: December 2, 2019
MTG. DATE: **DECEMBER 11, 2019**

TO: Village of Cottage Grove Plan Commission

CC: Village of Cottage Grove Board of Trustees
Matt Giese – Village Administrator
Lisa Kalata – Village Clerk
Lee Boushea – Village Attorney
Michael Maloney – Village Engineer

FROM: [Erin Ruth, AICP – Village Planning Director](#)

RE: **Residential Zoning Amendment**

BACKGROUND

The recent amendment of the Comprehensive Plan included the following policy in Chapter 8 – Housing:

1. *Consider adding one or more new single-family zoning districts to provide options for smaller lot sizes by right within certain areas as determined by the Future Land Use Plan.*

Currently the Village’s zoning ordinance includes only one single-family residential district: SR-4 with a minimum lot size of 10,000 sq. ft.

At its November meeting, the Plan Commission reviewed examples of neighborhoods with various minimum lot sizes (based on the zoning districts in comparable communities presented in the table below).

While the Plan Commission did not take an official action, the direction was given to staff prepare a text amendment with a minimum lot size of 7,500 to 8,000 sq. ft.

The attached amendment provides text for a new district with a 7,500 minimum lot size. The district is called SR-6 as the 7,500 sq. ft. minimum creates a density of approximately 6 units per acre.

The other difference from the SR-4 district is the minimum lot width is reduced from 80’ to 70’.



	DeForest	Fitchburg	McFarland	Sun Prairie	Waunakee	Cottage Grove
District name	RN-2A	R-L	R-1A	Single-Family Detached	R-2	SR-4
Min. Lot Size (in sq. ft.)	7,000	7,200	6,000	9,000	8,500	10,000
Min. Lot Width	70'	60'	50'	75'	70'	80'
Min. Street Frontage	40'	n/a	n/a	n/a	n/a	50'
Front Setback	25'	30'	25'	20'/45'	20'	25'/40'
Side Setback	8'	8'	7'	10'	6'	8'
Rear Setback	25'	25'	30'	30'	20'	30'
Max. Lot Coverage	n/a	35%	n/a	n/a	n/a	30%
Min. Landscape Surface Ratio	50%	n/a	n/a	50%	n/a	50%

STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the proposed zoning text amendment.

§ 325-38 Residential districts.

B.
Single-Family Residential-6 (SR-6) District.

(1)

Description and purpose.

(a)

This district is intended to permit development that has a relatively higher density (compared to the SR-4 district) single-family residential community character. Density and intensity standards for this district are designed to ensure that the Single-Family Residential-6 (SR-6) District shall serve as a designation that preserves and protects the residential community character of its area. Residential development with a maximum gross density (MGD) of approximately six dwelling units per gross acre is available within this district.

(b)

Rationale. This district is used to provide for the permanent protection of a relatively higher density single-family residential area for those who want to live in a suburban residential environment with a smaller lot sizes (compared to the SR-4 district) to ensure that the community character is maintained as long as the SR-6 District designation is retained, regardless of how much development occurs within that area.

(2)

List of allowable principal land uses (per Article [IV](#)).

(a)

Principal land uses permitted by right (per § [325-20A](#)).

[1]

Single-family.

[2]

Cultivation.

[3]

Selective cutting.

[4]

Passive outdoor public recreation.

[5]

Active outdoor public recreation.

[6]

Public services and utilities.

[7]

Community living arrangement (one to eight residents).

(b)

Principal land uses permitted as conditional use (per § [325-20B](#)).

[1]

Clear cutting.

[2]

Indoor institutional.

[3]
Outdoor institutional.

[4]
Community living arrangement (nine to 15 residents).

(3)
List of allowable accessory uses (per § [325-20C](#)).

(a)
Accessory land uses permitted by right.

[1]
Farm residence.

[2]
Private residential garage or shed.

[3]
Home occupation.

[4]
Family day-care home.

[5]
On-site parking lot.

[6]
Private residential recreational facility.

[7]
Drainage structure.

[8]
Filling.

[9]
Lawn care.

[10]
Exterior communication devices.

(b)
Accessory land uses permitted as conditional use.

[1]
Intermediate day-care home.

(4)
List of allowable temporary uses: (per § [325-20D](#)).

(a)
Outdoor assembly.

(b)
Contractor's project office.

(c)
Contractor's on-site equipment storage.

(d)
On-site real estate sales office.

(5)

Regulations applicable to all uses.

(a)

Landscaping regulations (see Article [V](#)).

(b)

Performance standards (see Article [VI](#)).

(c)

Signage regulations (see Article [VII](#)).

(6)

Regulations applicable to residential uses.

(a)

Residential density and intensity requirements.

[1]

Minimum zoning district area: 7,500 square feet.

[2]

Maximum gross density (MGD): 6.00 dwelling units per acre.

[3]

Minimum landscape surface ratio (LSR): 50%.

[4]

Maximum building coverage: 30%.

[5]

Maximum accessory building coverage: 10%.

(b)

Residential bulk requirements.

[1]

Minimum lot area: 7,500 square feet.

[2]

Minimum lot width: 70 feet.

[3]

Minimum street frontage: 50 feet.

[4]

Minimum setbacks:

[a]

Front lot line to house or attached garage: 25 feet; 40 feet for a lot adjacent to a street with an officially mapped right-of-way equal to or exceeding 100 feet.

[Amended 4-15-2013 by Ord. No. 07-2013]

[b]

Street side lot line to attached house or nondoor side garage: 15 feet; 30 feet for a lot adjacent to a street with an officially mapped right-of-way equal to or exceeding 100 feet.

[Amended 4-15-2013 by Ord. No. 07-2013]

[c]

Street side lot line to door side of attached garage: 25 feet; 40 feet for a lot adjacent to a street with an officially mapped right-of-way equal to or exceeding 100 feet.

[Added 4-15-2013 by Ord. No. 07-2013[1]]

[1]

Editor's Note: This ordinance also redesignated former Subsection A(3)(b)[4][c] through [g] as Subsection A(3)(b)[4][d] through [h], respectively.

[d]

Side lot line to house or attached garage: 8 feet.

[e]

Total of both side lot lines to house/attached garage: 16 feet.

[f]

Rear lot line to house or attached garage: 30 feet.

[g]

Side lot line to accessory structure: three feet from property line, five feet from alley.

[h]

Rear lot line to accessory structure: three feet from property line, five feet from alley.

[5]

Required bufferyard: see § [325-62D](#) along zoning district boundary

[6]

Minimum paved surface setback: five feet from side or rear; 10 feet from street.

[7]

Minimum dwelling unit separation: 16 feet.

[8]

Maximum height of dwelling unit: 35 feet.

[9]

Maximum height of accessory structure: 15 feet.

[10]

Minimum number of off-street parking spaces required on the lot: see parking lot requirements per specific land use in § [325-49](#).

[11]

Minimum dwelling size: 24 feet by 40 feet.

(7)

Regulations applicable to nonresidential uses.

(a)

Nonresidential intensity requirements.

[1]

Maximum number of floors (F): two.

[2]

Minimum landscape surface ratio (LSR): 50%.

[3]

Maximum floor area ratio (FAR): .15.

[4]
Minimum lot area (MLA): 7,500 square feet.

[5]
Maximum building size (MBS): na.

(b)
Nonresidential bulk requirements:

[1]
Minimum lot area: 7,500 square feet.

[2]
Minimum lot width: 70 feet; minimum street frontage: 50 feet.

[3]
Minimum setbacks:

[a]
Building to front or street side lot line: 25 feet; 40 feet for a lot adjacent to a street with an officially mapped right-of-way equal to or exceeding 100 feet.

[b]
Building to residential side lot line: eight feet.

[c]
Building to residential rear lot line: 30 feet.

[d]
Building to nonresidential side lot line: eight feet.

[e]
Building to nonresidential rear lot line: 30 feet.

[f]
Side lot line to accessory structure: three feet from property line, five feet from alley.

[g]
Rear lot line to accessory structure: three feet from property line, five feet from alley.

[4]
Required bufferyard: see § [325-62D](#) along zoning district boundary.

[5]
Minimum paved surface setback: five feet from side or rear; 10 feet from street.

[6]
Minimum building separation: 16 feet.

[7]
Maximum building height: 35 feet.

[8]
Minimum number of off-street parking spaces required on the lot: see parking lot requirements per specific land use in § [325-49](#).